

Utilities and Services

Telephone
Pacific Bell - 800/310-2355
Verizon - 800/483-5000

Natural Gas
Southern California Gas Company
Regional Headquarters
9400 Oakdale Avenue
Chatsworth, CA
Telephone (800) 427-2200
Website: www.socalgas.com

Electricity
Southern California Edison
P.O. Box 600
Rosemead, CA 91771
(800) 655-4555
Website: www.sce.com

Water Service
Las Virgenes Municipal Water District
4232 Las Virgenes Road
Calabasas CA 91302-1004
818/251-2200
Website: www.lvmwd.dst.ca.us

Cable Television:
Charter Cable - 800/964-4844
Adelphia Cable - 800/427-3731

Trash Pick-up
G.I. Rubbish / Waste Management
195 W. Los Angeles Avenue
Simi Valley, CA 93065
800-675-1171
805-522-9400



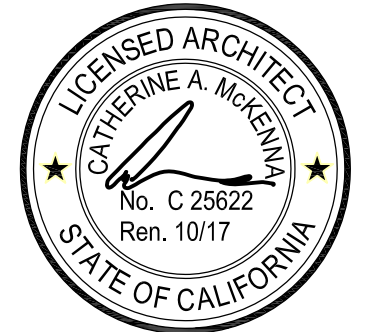
Tenant Improvement

Reyes Adobe Plaza
30315 Canwood St., #14 Agoura Hills, CA 91301-4319

State Requirements

- At the time of permit issuance, contractor shall show their valid workers' compensation insurance certificate.
- All work shall conform to all requirements of State of California title 24 regardless of the information indicated on these plans. It is the responsibility of the individual supervising the construction to ensure that the work is done in accordance with Code requirements prior to requesting inspection.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.

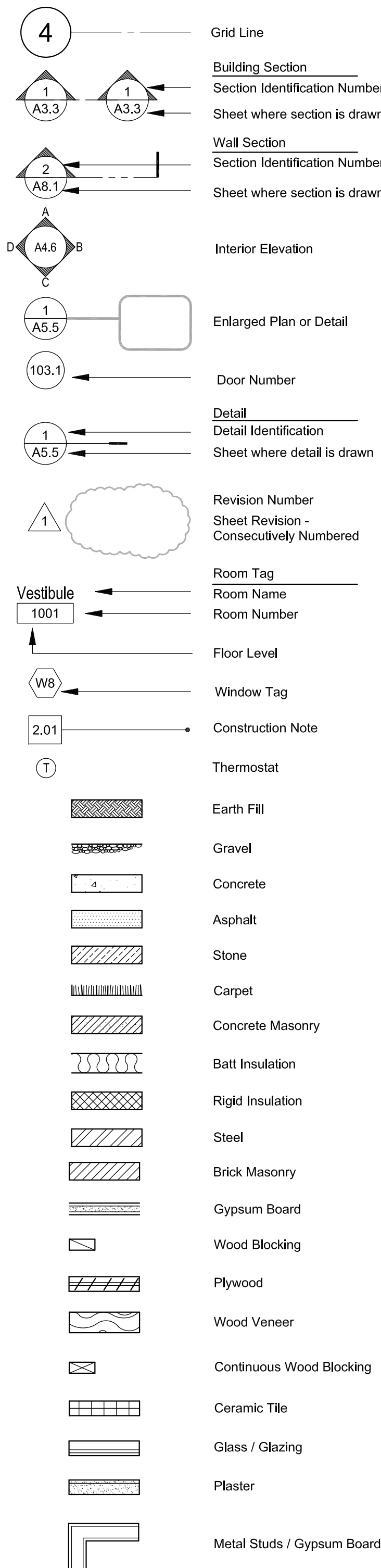
21020 Victory Blvd.,
Woodland Hills, CA 91367
T: 818-883-8702
catherine@cmarchitect.biz



Cafe Bizou

30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Symbols and Legends



General Notes

General Conditions
Contractor and subcontractor will conform to the landlord's "General Terms and Conditions" document for all phases of construction, safety, payment, and project procedures. Contractors must conform to General Conditions, Schedule of Value requirements for all applications for payments.

1. **Permits and Fees**
The contractor shall apply for and pay for all utility meters, permits, sewer charges and the like. Building permits, sewer connection charges and other city, county and state charges in connection with all of tenant's work shall be an expense reimbursable to the contractor by the tenant,.... at cost

Contractor must record a "Notice of Completion" with the local jurisdiction. A copy must be submitted to the tenant and landlord.

2. **Construction Requirements**
All materials, workmanship, and construction shall conform to the codes referenced in these general notes and to all codes regulations, laws, and ordinances of bodies having jurisdiction over the work.

On site validation and verification of elevations and dimensions and conditions shall be the responsibility of the contractor and his sub-contractor's. Any discrepancies between drawings and as built-conditions shall be brought to the architect's attention. Noted dimensions take precedent over scaled dimensions

The general contractor shall take all precautionary steps to protect the tenant's and landlord's facilities and the facilities of others affected by tenant's work and properly police same.

The contractor shall be required to maintain continuous protection of adjacent premises in such a manner as to prevent any damage to such adjacent property and the improvements thereon or therein by reason of the performance of the work, and promptly to repair any such property or improvements so damaged to the condition there to. The contractor shall be required to properly protect the work with lights, guardrails, and barricades and secure all parts of the work against accident.

Contractor must clean work areas before leaving project on a daily basis. Cleaning standards will be enforced by the landlord. If cleaning standards are not maintained, the landlord will clean areas at contractor's expense.

3. **Temporary Facilities**
The contractor shall provide the minimum facilities as required by health and safety laws and shall remove such facilities at the completion of the project or when no longer necessary.

Temporary utilities and any other services to the demised premises not otherwise provided by landlord shall be the responsibility of the contractor. Connection to centrally located temporary power including all temporary power lines, transformers and electrical distribution is the general contractor's responsibility.

The contractor shall not permit trash to accumulate within its area or anywhere on site.

4. **Completion of Work**
The contractor shall provide the tenant and landlord a list of devices installed in the project and also supply instructions as to the use of each device or system efficiently.

Upon completion of the work, warranties covering one year minimum on all work and equipment, shall be assigned by contractor to tenant, subject, however, to the right of contractor to hold and utilize such warranties unless the tenant shall default. The contractor shall be responsible for the replacement or repair without additional charge to tenant of any and all work done or furnished by or through such contractor or subcontractor which shall become defective within (1) year after substantial completion of the work. The correction of such work shall include without additional charge to the tenant, all additional expenses and damages in connection with such removal, replacement of or any part of the work or any part of the buildings which may be damaged or disturbed thereby.

All warranties or guarantees as to materials or workmanship with respect to work shall be contained in the contract or subcontract which shall inure to the benefits of the tenant and landlord.

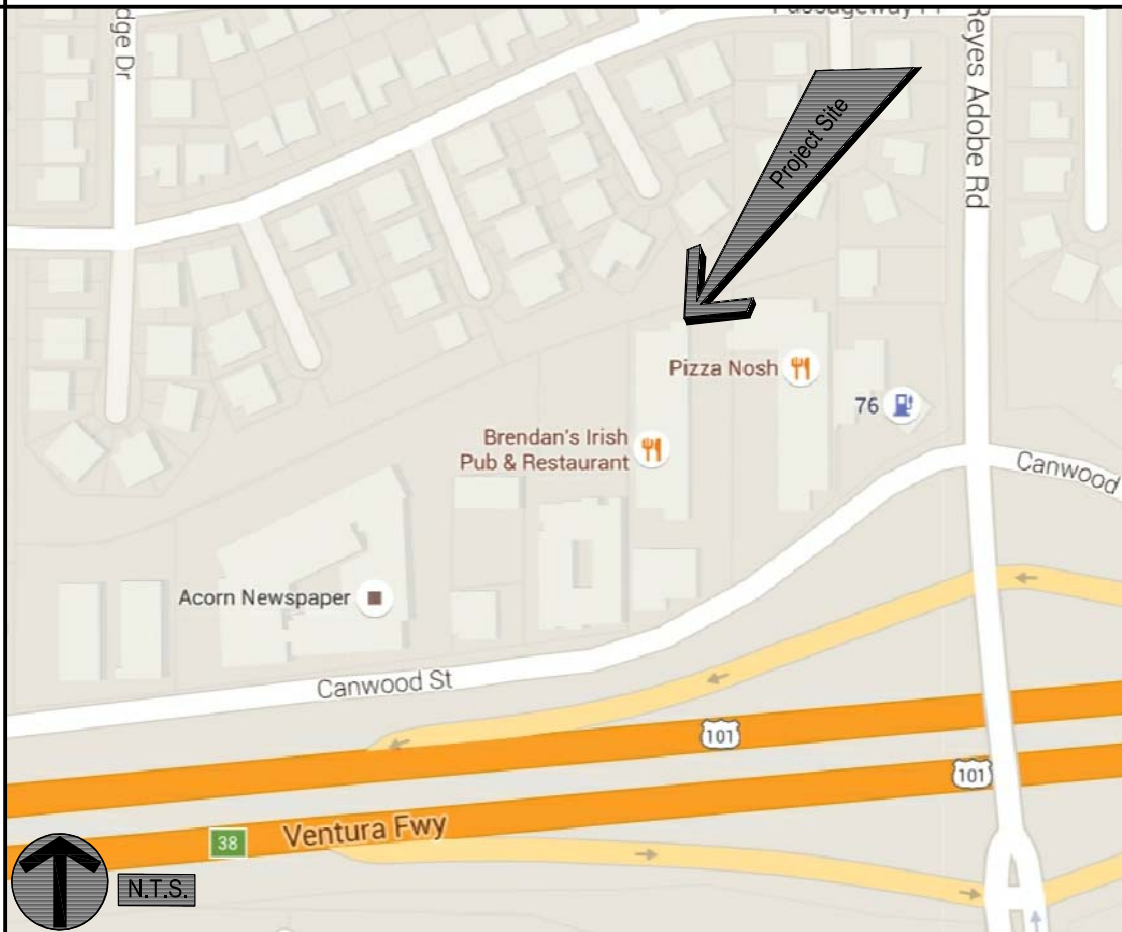
The contractor shall furnish the tenant and landlord with the waivers of liens and sworn statements, in such form as may be required by tenant and landlord, from all persons performing labor and supplying materials in connection with the tenant's work showing that all of said persons have been compensated in full.

5. **Clean-up**
The contractor shall remove all trash and debris to centrally located trash receptacles during the construction of the defined areas at general contractor's expense. General clean-up is the contractor's responsibility and the site shall be maintained in an orderly, neat, and clean fashion through the project development.

6. **Erosion and Sediment Control**
Sediments from areas disturbed by construction shall be retained on site and stockpiles of soil shall be properly contained to minimize transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.

7. **Construction Materials Control**
Construction-related materials, wastes, spills or residues shall be retained on site to minimize transport from site to streets, drainage facilities or adjoining properties by wind or runoff. Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to remove sediments and pollutants.

Vicinity Map



Key Plan



Scope of Work

The Scope of work Consist of the expansion of an existing restaurant into an adjacent tenant space. The interior improvements will consist of a new accessible rest room, a new Locker Room, a modification to an existing rest room. New ceiling, lighting, and finishes through out area of expansion and the modification of an existing restroom. No exterior improvement are proposed.

Project Data

Project Address :
30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Assessor's Parcel Number :
2054-020-040

Property Boundary Description
TR=43597 FOR DESC SEE ASSESSOR'S MAPS POR OF LOTS 4 AND 5

Landlord:
The Braemar Group
30313 Canwood St, Suite 32
Agoura Hills, CA 91301
Contact: Nancy Doolan

Tenant:
Phillipe Gris
Cafe Bizou
Tel: (818) 788-3538

Zone:
CRS Commercial Retail/Service

Type of Construction :
Type V-B Non-Sprinklered

Stories :
One

Area Separation
None

Occupancy:
A-2
Restaurant

Hours Of Operation:
Tuesday-Sunday 4pm - 11pm

Seating Calculation

Existing Seating	71
Removed Seats	2
Proposed new seating	54
Total New and Existing	125
Handicap (5% of total)	6

Area Calculation

Existing Total	2,264 sf
Proposed Expansion Total	+850 sf
Total	3,114 sf

Common Path of Travel
For 'A' occupancy non sprinklered
Maximum distance to front door 75 ft.
Two exits required

Code Requirements :
All work shall conform to the following codes :
2013 CA Building Code (CBC) with Agoura City amendments
2013 California Mechanical Code (CMC)
2013 California Electrical Code (CEC)
2013 California Plumbing Code (CPC)
2013 California Energy Code
2013 LA County Fire Code
2013 Green Bldg. Code
2013 California Health Code
Agoura Hills Municipal Code

Fire Resistive Requirements:

1. Bearing walls - exterior	- 0 hr
2. Bearing walls - interior	- 0 hr
3. Non-bearing walls - exterior	- 0 hr
4. Structural frame	- 0 hr
5. Partitions - permanent	- 0 hr
6. Floors & floor-ceiling	- 0 hr
7. Roofs & roof-ceiling	- 0 hr

Fire Protection Notes

- Provide 2A 10BC dry chemical minimum rated fire extinguishers to be located within 30 to 70 feet travel distance from all areas. This will also be required during demolition and construction phases.
- Contractor shall submit fire sprinkler plans to the local AHJ and obtain permit for fire sprinkler modifications prior to the start of work if required.
- Emergency lighting shall be installed such that it will provide a light level of 1 footcandle at floor level.
- Exit lights and exit signs shall be provided with letters a minimum height of 3/4" x 6" at required exits.

Sheet Index

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T1.1 Title Sheet

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Plumbing

P1.0	Legend, Notes, Schedules,
P2.0	Plumbing Floor Plan
P3.0	Plumbing Details

Consultants

Architect :
Catherine McKenna, Architect, Inc.
21020 Victory Blvd.,
Woodland Hills, CA 91367
Phone : (818) 883-8702
Email : catherine@cmarchitect.biz
Contact : Catherine McKenna
Architect

Structural Engineer:
Sapphire Engineering Company, Inc.
1843 Montgomery Rd
Thousand Oaks, CA 91360
Phone: 805.426.9477
Fax: 805.426.8488
Email: sec@sapphireeci.com
Contact: Shahzain Houssain

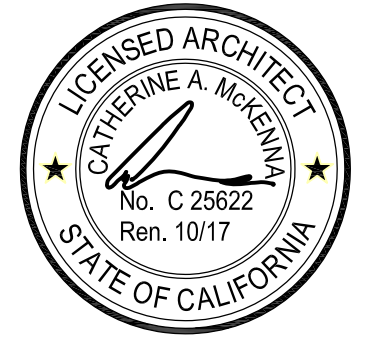
Approval Required

Planning Dept.
Building Dept.
Health Dept.
Fire Dept.
Lad Virgenes Municipal Water District

Title Sheet

Copy Protection

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Cafe Bizou
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Agoura Hills,
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Issue	Date
Planning Dept. Submittal	7.12.16
Planning Dept. Corrections	9.21.16
Building Dept. Plan Check	11.08.16

Cafe Bizou

A1.1

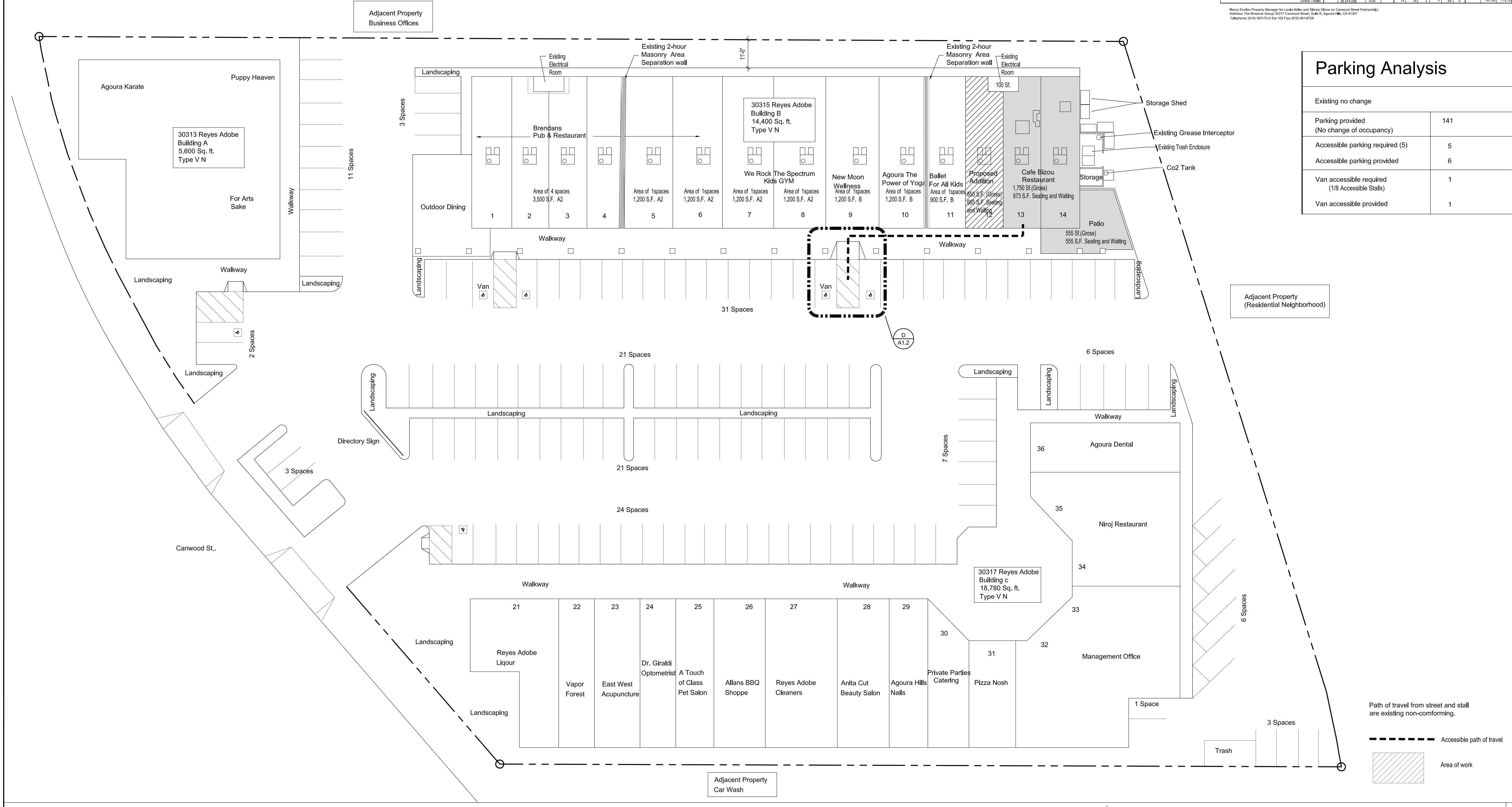
Site Plan

Copy Protection

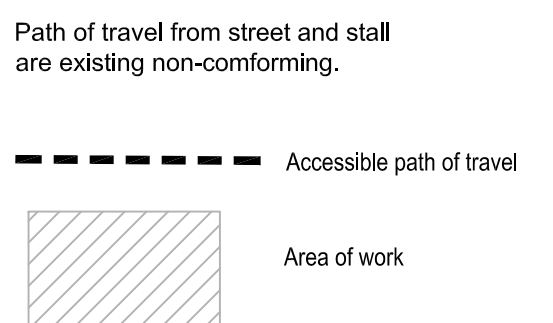
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Address / Block	Flooring Use	Total Existing Building Area (Sq. Ft.)	Total Existing Parking Spaces		Proposed Parking Spaces		Total Parking Required	
			Surface	Other	Surface	Other	Surface	Other
30315 Canwood #21 Reyes Adobe Liqor		1,500.00	6.00					6.00
30315 Canwood #20 A Touch of Class Daycare		900.00	3.00					3.00
30315 Canwood #27 Reyes Adobe Barber		1,500.00	6.00					6.00
30315 Canwood #28 A Touch of Class Daycare		900.00	3.00					3.00
30315 Canwood #29 Agoura Hills Hair Salon The Young & Rubicam		1,500.00	6.00					6.00
30315 Canwood #32 Management Company		1,700.00	6.80					6.80
30315 Canwood #11 Restaurant		900.00	3.60					3.60
30315 Canwood #12 Vicent		800.00	3.20					3.20
30315 Canwood #37 Canyon Studio (or 5,000)		1,400.00	5.60					5.60
30315 Canwood #26 Alberts BBQ Shop/BBQ store		1,500.00	6.00					6.00
30315 Canwood #28 Michael Ward Art Studio		1,500.00	6.00					6.00
30315 Canwood #28 Michael Ward Art Studio		450.00	1.80					1.80
30315 Canwood #10 Agoura Power Trigs		1,200.00	4.80					4.80
30315 Canwood #10 New Moon Wellness (or 5,000)		2,400.00	9.60					9.60
30315 Canwood #9 New Moon Wellness		1,200.00	4.80					4.80
30315 Canwood #22 Vapor Liqor		800.00	3.20					3.20
Proposed Use		20,058.00	73.80					73.80
Other General								
30317 Canwood #39 PUPPY Heaven		1,200.00	4.80					4.80
30317 Canwood #27 East West Medical/Chiropractic		900.00	3.60					3.60
Proposed Use		10,800.00	43.20					43.20
Other Medical								
30315 Canwood #24 Dr. Ghaffar (Chiropractic)		900.00	3.60					3.60
30315 Canwood #23 Chiropractic - vacant		1,200.00	4.80					4.80
30315 Canwood #28 Agoura Dental, West/Chiropractic		1,500.00	6.00					6.00
Proposed Use		3,600.00	14.40					14.40
Other								
30315 Canwood #24 Dr. Ghaffar (Chiropractic)		900.00	3.60					3.60
30315 Canwood #23 Chiropractic - vacant		1,200.00	4.80					4.80
30315 Canwood #28 Agoura Dental, West/Chiropractic		1,500.00	6.00					6.00
Proposed Use		3,600.00	14.40					14.40
Other								
30315 Canwood #24 Dr. Ghaffar (Chiropractic)		900.00	3.60					3.60
30315 Canwood #23 Chiropractic - vacant		1,200.00	4.80					4.80
30315 Canwood #28 Agoura Dental, West/Chiropractic		1,500.00	6.00					6.00
Proposed Use		3,600.00	14.40					14.40
Other								
30315 Canwood #24 Dr. Ghaffar (Chiropractic)		900.00	3.60					3.60
30315 Canwood #23 Chiropractic - vacant		1,200.00	4.80					4.80
30315 Canwood #28 Agoura Dental, West/Chiropractic		1,500.00	6.00					6.00
Proposed Use		3,600.00	14.40					14.40
Other								
50% Gross (Chiropractic)		15,450.00	61.80					61.80
50% Gross (Chiropractic)		15,450.00	61.80					61.80
Grand Total		38,526.00	153.80					153.80

Reyes Adobe Property Manager for Linda Miller and Sherry (Reyes) (Reyes Adobe Street Partnership)
Address: The Reyes Adobe Group 30317 Canwood Street, Suite 10, Agoura Hills, CA 91301
Telephone: (818) 883-7510 Ext 102 Fax: (818) 891-4728

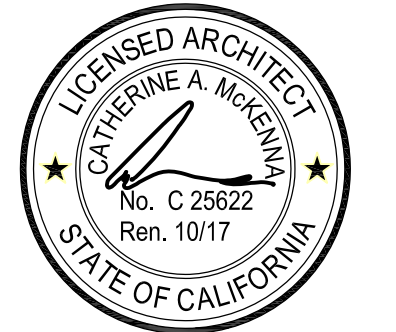


Existing no change	
Parking provided (No change of occupancy)	141
Accessible parking required (5)	5
Accessible parking provided	6
Van accessible required (1/8 Accessible Stalls)	1
Van accessible provided	1



Site Plan
Scale: 1" = 20'-0"

M



Cafe Bizou

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Cafe Bizou

A1.2

Site Details

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Concrete Sidewalk Exp. Joint
1-1/2"=1'-0"

Typical Parking Stall Details
1/8"=1'-0"

Groove Detail
3"=1'-0"

H.C. Parking Stall Detail - Typical
3/32"=1'-0"

Degree ϕ	Allowed Overhang
30	2.0'
40	2.0'
50	2.25'
60	2.25'
70	2.5'
80	2.25'
90	2.25'

Wheel Stop Detail
1"=1'-0"

Detectable Warning Detail
3/4"=1'-0"

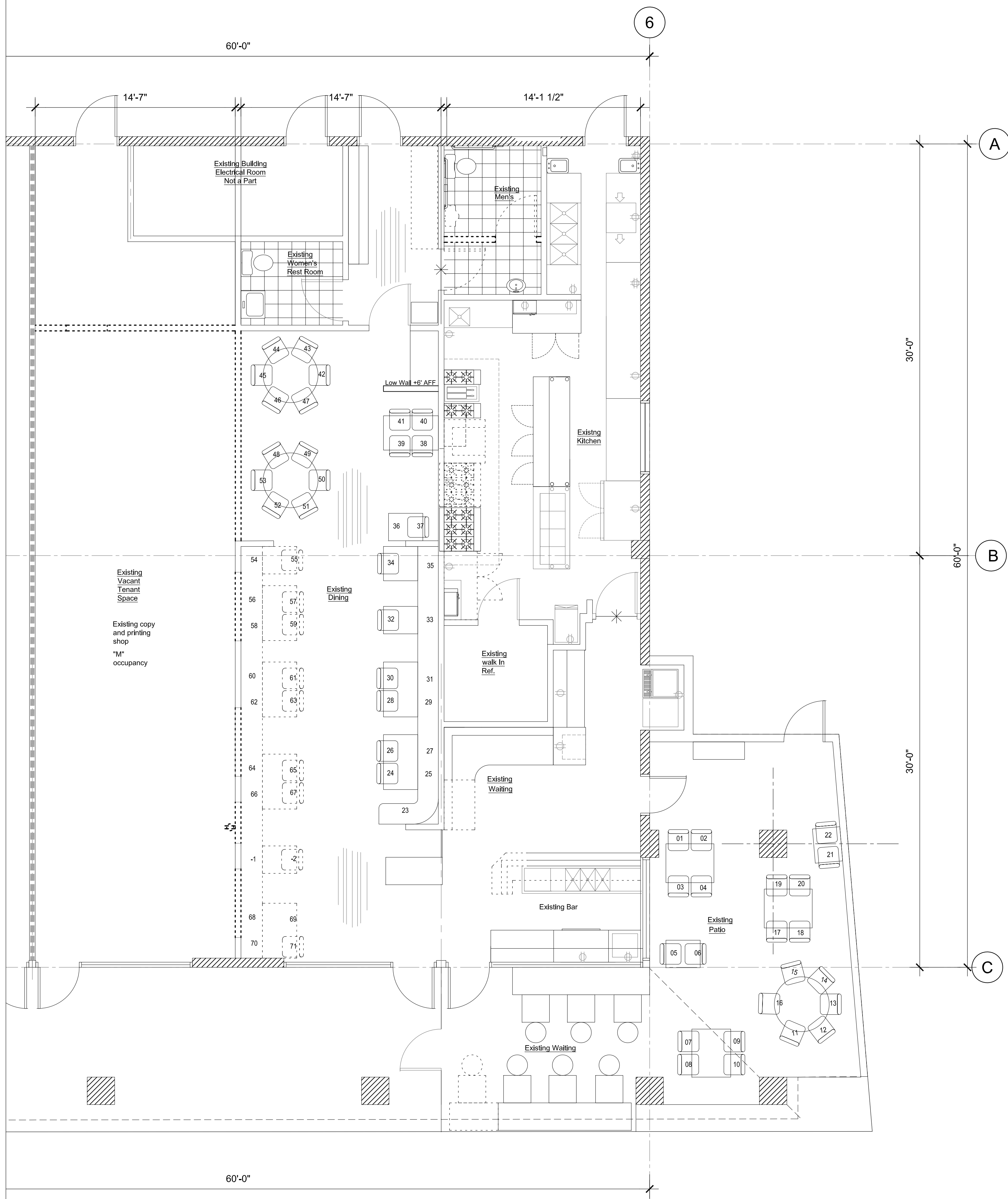
Handicapped Directional Signs
NTS

Striping Plan
1/2"=1'-0"

Wheel Stop Section
1-1/2"=1'-0"

Handicapped Parking Signs
3/8"=1'-0"

Existing Handicap Symbol
1/8"=1'-0"



Demo Wall Legend

Description	Symbol
Existing Masonry walls	
Existing Demising wall	
Existing stud wall	
Existing Windows	
Demo wall	
Relocate existing	(Rel)
115v. Duplex	
115v. Fourplex outlet	
Voice/data	
Wall switch	

Catherine McKenna
Architect, Inc.

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Woodland Hills, CA 91367
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Cafe Bizou

A2.01

Existing / Demo Floor Plan

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Existing/Demo Floor Plan F
Scale: 1/4" = 1'-0"



Legend

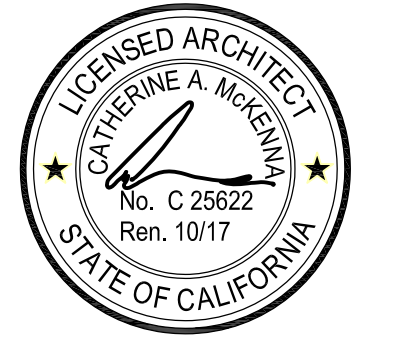
Description	Symbol		
	Demo	Existing	New
Ceiling grid			
Gypsum Board Ceiling			
Fluorescent Fixture			
Downlights: New lights to be HALO LED H4 - EL406930 Housing - H4571CAT1E Trim - TRM400			
Wall mounted sconce per Owner			
Exit Light W/ Batt. Backup			
Exhaust Fan			
Air Supply			
Air Return			

Construction Notes

1. Demo portion of roof for new skylight.

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Cafe Bizou

A2.02

Existing/Demo Reflected Ceiling Plan

Copy Protection

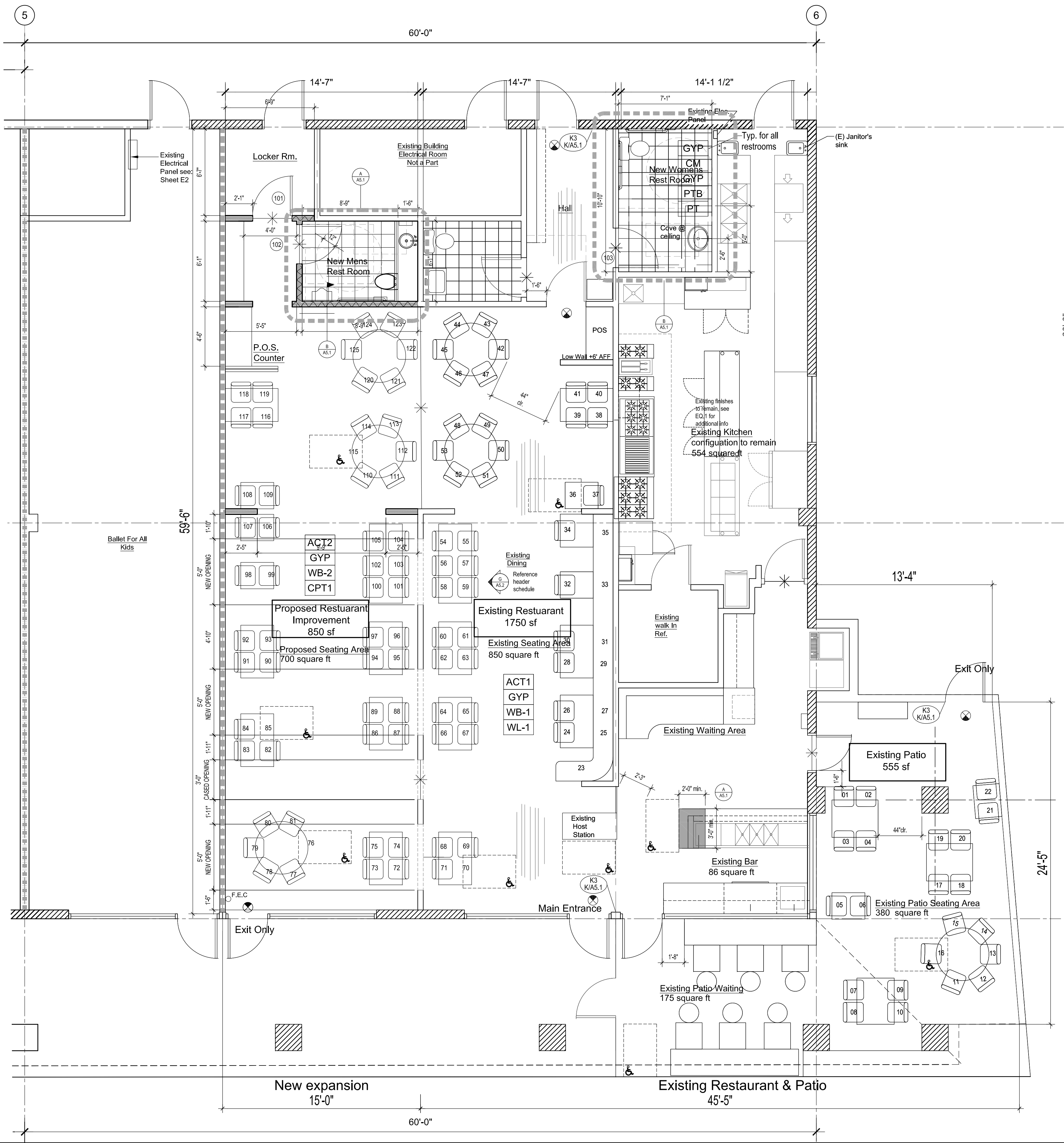
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Existing/Demo Ceiling Plan

Scale : 1/4" = 1'-0"

B





Proposed Floor Plan
Scale: 1/4" = 1'-0"

Plumbing Analysis

Function of Space	Area	Load Factor	Occupants	50% Men	50% Women	Water Closets Req'd		
						Male	Female	Male
Dining Area & Patio	2,147 SF	SF / 30 =	72	36	36	1:1-50	1:1-25	1 2
Restroom Areas	167 SF	N/A	0	0	0		2:26-50	
Office Area	56 SF	SF / 100 =	.56	1	1			
Kitchen Area	554 SF	SF / 200 =	2.77	1	1			
Circulation Areas	190 SF		0					
Total	3114 SF		76	38	38	1	2	1 2

Seating Calculation

Existing Seating	Removed Seats	Proposed new seating	Total New and Existing	Handicap (5% of total)
71	2	54	125	6

Exit Analysis

Function of Space	Area	Occupant Load Factor	Occupants	Width Factor Per Code (Doors)	Exit Width Required (In Feet)
Dining Area	2,147 SF	SF / 15 =	143	.2	2.9
Restroom Areas	167 SF	SF N/A	0	.2	0
Office Area	56 SF	SF / 100 =	.56	.2	.016
Kitchen Area	554 SF	SF / 200 =	2.77	.2	.036
Circulation Areas	190 SF		0		
Total Area	3114 SF		146		

Number of Exits Required by Code
2 Required for Occupant Load over 49
0
1
1

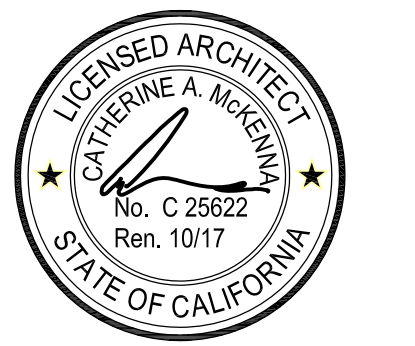
Wall Legend

Description	Symbol (existing)	Symbol (new)
Existing 1 hr. wall	[Symbol]	[Symbol]
Existing 2 hr. wall	[Symbol]	[Symbol]
Existing Demising wall	[Symbol]	[Symbol]
Existing Demising wall New sound insulation & new green bd on wet side.	[Symbol]	[Symbol]
Existing stud wall New sound insulation & new green bd on wet side.	[Symbol]	[Symbol]
New 3-5/8" stud @ 16" o.c. with 5/8" gyp. bd. both sides, 6" above finish ceiling & sound batt insulation.	[Symbol]	[Symbol]
Stud wall to 6" above ceiling w/ 3-1/2" sound batt insulation & 5/8" gyp. bd both sides	[Symbol]	[Symbol]
6" 20ga @ 16" o.c. stud wall to deck, 15± w/ 3-1/2" sound batt insulation & 5/8" gyp. bd both sides	[Symbol]	[Symbol]
Existing Windows	[Symbol]	[Symbol]
Line of Objects overhead	[Symbol]	[Symbol]
Signage see sheet A5.1	[Symbol]	[Symbol]
Indicates floor material change	[Symbol]	[Symbol]
Existing	(E)	(N)
New	(E)	(N)
Thermostat	[Symbol]	[Symbol]
Wall switch	[Symbol]	[Symbol]
BI-Level Switching per Title 24	[Symbol]	[Symbol]
Occupancy Sensor	[Symbol]	[Symbol]
Time Clock	[Symbol]	[Symbol]
115v. Duplex	[Symbol]	[Symbol]
115v. Fourplex outlet	[Symbol]	[Symbol]
Voice/data	[Symbol]	[Symbol]
Data	[Symbol]	[Symbol]
Clear space/ door clearance	[Symbol]	[Symbol]

All dimensions to face of finish unless noted otherwise

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A2.1

Proposed Floor Plan

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Legend

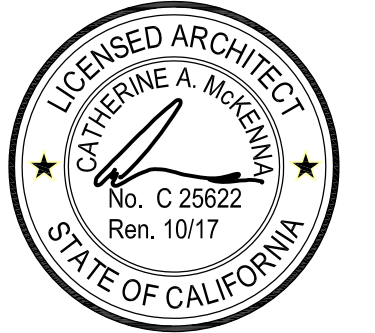
Description	Demo	Symbol	
		Existing	New
Ceiling grid			
Gypsum Board Ceiling			
Fluorescent Fixture			
Downlights: New lights to be HALO LED H4 - EL406930 Housing - H4571CAT1E Trim - TRM400			
Wall mounted sconce per Owner			
Exit Light W/ Batt. Backup			
Exhaust Fan			
Air Supply			
Air Return			
Air Return			

Construction Notes

- 7.1 Provide sound batt insulation above ceiling.
- 7.2 Patch & repair thermal insulation @ deck as affected by new construction.
- 9.1 Paint new ceiling tile & grid to match existing
- 26.1 Speakers by tenant

Catherine McKenna
Architect, Inc.

21020 Victory Blvd.,
Woodland Hills, CA 91367
T: 818-883-8702
catherine@cmarchitect.biz



Cafe Bizou

30315 Canwood St., #14
Agoura Hills,
CA 91301-4319



Issue	Date
Planning Dept. Submittal	7.12.16
Planning Dept. Corrections	9.21.16
Building Dept. Plan Check	11.08.16

Cafe Bizou

A2.2

Proposed Ceiling Plan

Copy Protection

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Proposed Ceiling Plan

Scale: 1/4" = 1'-0"

B

GENERAL

1. APPLICABLE CODE: 2013 CALIFORNIA BUILDING CODE (CBC).
2. GOVERNING CODE AUTHORITY: CITY OF THOUSAND OAKS.
3. DESIGN INTENT: CONTRACT DOCUMENTS INDICATE INFORMATION SUFFICIENT TO CONVEY DESIGN INTENT. REVIEW CONTRACT DOCUMENTS AND VERIFY FIELD AND EXISTING CONDITIONS. PROMPTLY NOTIFY STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK IF DESIGN INTENT CANNOT BE ESTABLISHED.
4. MODIFICATIONS AND SUBSTITUTIONS: MUST BE ACCEPTED IN WRITING BY STRUCTURAL ENGINEER. NO MODIFICATION OR SUBSTITUTION WILL BE ACCEPTED VIA SHOP DRAWING REVIEW.
5. CONTRACT DOCUMENTS USE: PERFORM STRUCTURAL RELATED WORK AND DEVELOP SHOP DRAWINGS CONSIDERING CONTRACT DOCUMENTS IN THEIR ENTIRETY.
6. CONSTRUCTION MEANS AND METHODS: NOT A PART OF CONTRACT DOCUMENTS. PERFORM CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES COMPLYING WITH NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. SITE VISITS (INCLUDING STRUCTURAL OBSERVATION) BY STRUCTURAL ENGINEER DO NOT CONSTITUTE SUPERVISION OF CONSTRUCTION MEANS AND METHODS.
7. TYPICAL DETAILS: DETAILS TITLED AS "TYPICAL" ARE APPLICABLE THROUGHOUT PROJECT AND MAY NOT BE SPECIFICALLY REFERENCED HEREIN. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THESE DETAILS AND UNDERSTANDING EXTENT OF THEIR APPLICATION PRIOR TO PERFORMING WORK.
8. NOTES AND DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. IF CONFLICT OCCURS BETWEEN THE CONTRACT DRAWINGS AND THE PROJECT MANUAL, IMMEDIATELY NOTIFY ARCHITECT (STRUCTURAL ENGINEER) FOR RESOLUTION. DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
9. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT (STRUCTURAL ENGINEER) OF ANY DISCREPANCIES.
10. UNLESS SPECIFICALLY SHOWN ON THE PLANS NO STRUCTURAL MEMBER SHALL BE CUT, DRILLED OR NOTCHED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ARCHITECT (STRUCTURAL ENGINEER).

CALIFORNIA BUILDING CODE GENERAL

NOTES

THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL GENERAL NOTES SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

DIVISION 1 - GENERAL CONDITIONS

1. THE GENERAL NOTES ARE NOT TO BE CONSTRUED AS SPECIFICATIONS FOR CONSTRUCTION. THEIR PURPOSE IS ONE OF INFORMING THE OWNER, CONTRACTOR AND SUB-CONTRACTORS OF SOME SPECIFIC INFORMATION WITH WHICH TO BECOME AWARE AND FAMILIAR.
 2. THE GENERAL NATURE OF THESE NOTES SHALL IN NO WAY DIMINISH THE GENERAL CONTRACTOR'S RESPONSIBILITY FOR COMPLETING ALL WORK IN STRICT CONFORMANCE WITH ALL ASPECTS OF THE BUILDING CODE AND WITH ALL OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING.
 3. SCOPE OF PERMIT
 - a. PERMITS ISSUED UNDER THE REQUIREMENTS OF THIS CODE SHALL NOT RELIEVE THE OWNER OF RESPONSIBILITY FOR SECURING PERMITS FOR WORK TO BE DONE WHICH IS REGULATED BY ANY OTHER CODE, DEPARTMENT OR DIVISION OF THE CITY IN WHICH THE WORK IS PERFORMED.
 - b. VALIDITY OF OTHER LAWS: NEITHER ISSUANCE OF A PERMIT NOR THE APPROVAL BY THE DEPARTMENT OF ANY DOCUMENT SHALL CONSTITUTE AN APPROVAL OF ANY VIOLATION OF ANY PROVISION OF THIS CODE OR OF ANY OTHER LAW OR ORDINANCE, AND A PERMIT OR OTHER DOCUMENT PURPORTING TO GIVE AUTHORITY TO VIOLATE ANY LAW SHALL BE INVALID WITH RESPECT THERETO.
 4. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE CURRENT EDITION OF THE GOVERNING BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND LABOR, MATERIALS OR BOTH TO INSTALL HIS WORK IN CONFORMANCE WITH THE BUILDING CODE AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN REQUIREMENTS OF THE BUILDING CODE AND THE DRAWINGS BY DIVISION ARCHITECT (STRUCTURAL ENGINEER) IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK.
- HOLD-DOWNS: ICC-ES ESR 2330 SSTB'S: ICC-ES ESR 2611
 HANGERS: LARR# 24947, 24949, 25076, STRAPS: LARR# 25293, 25119, 25149, 25281, ICC-ES ESR 2611
 FRAMING ANGLES & PLATES: ICC-ES ESR 2279
 ICC COLUMN BASES: ICC-ES ESR 2604
 CEILING POST BASES: ICC-ES ESR 5708
 HARDY FRAMES: ICC-ES ESR 2089

FOUNDATION:

1. THE SOILS REPORT IN ITS ENTIRETY SHALL BE INCLUDED AS PART OF THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR AND CONCRETE SUB-CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH THE SOILS REPORT. WHEN SOILS REPORT IS NOT PROVIDED, MINIMUM CB VALUES SHALL BE USED.
2. EXCAVATION DEPTHS FOR THE FOUNDATION SHOWN ON THE DRAWINGS ARE TO BE MEASURED FROM THE LOWEST ADJACENT UNDISTURBED SOIL GRADE OR APPROVED COMPACTED EARTH GRADE WITH AT LEAST 15' MIN. HORIZONTAL DISTANCE TO DAYLIGHT AT BOTTOM OF FOUNDATION EXCAVATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING NECESSARY TO SUPPORT ANY CUT AND FILL BANKS DURING EXCAVATION AND FOR FORMING AND PLACEMENT OF CONCRETE AND DRAINAGE.
4. FILL AND BACKFILL MATERIAL SHALL BE APPROVED BY THE PROJECT SOILS ENGINEER WHERE APPLICABLE.
5. FILLING AND BACK FILLING SHALL BE COMPACTED TO A MINIMUM OF 90% OR MORE IF SO NOTED OF MAXIMUM DENSITY IN ACCORDANCE WITH THE SOILS REPORT AND ASTM TEST METHOD D-1557-78. FLOODING OF BACKFILL IS NOT PERMITTED.
6. PERMIT FROM STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY SHALL BE OBTAINED PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT WHEN A PERSON MUST DESCEND INTO AN EXCAVATION OR TRENCH FOR THE FOUNDATION. PRIOR TO PERMITMENT OF CONCRETE. CARE SHALL BE TAKEN SO AS NOT TO DRY OUT THE UNDERLYING NATURAL SOILS.

QUALITY ASSURANCE

1. TESTING LABORATORY: RETAINED BY OWNER AND SATISFACTORY ARCHITECT (STRUCTURAL ENGINEER) AND GOVERNING CODE AUTHORITY TO PERFORM REQUIRED TESTS AND INSPECTIONS OF THIS CONTRACT APPLICABLE CODE.
2. MATERIAL CERTIFICATION: SUBMIT LABORATORY TEST REPORTS CERTIFYING MATERIALS ARE OF IDENTIFIABLE TESTED STOCK TO OWNER, TESTING LABORATORY, ARCHITECT (STRUCTURAL ENGINEER) AND, UPON REQUEST, GOVERNING CODE AUTHORITY. IF LABORATORY TEST REPORTS CANNOT BE MADE AVAILABLE, TESTING LABORATORY WILL PERFORM TESTS AS DIRECTED BY ARCHITECT (STRUCTURAL ENGINEER). CONTRACTOR SHALL PAY TESTING LABORATORY FOR COSTS RELATED TO TESTS AND INSPECTIONS UNIDENTIFIABLE MATERIALS OR MATERIALS FURNISHED WITHOUT LABORATORY TEST REPORTS, MATERIALS FOUND DEFICIENT AFTER INITIAL TESTS AND INSPECTIONS, OR MATERIALS REPLACING DEFICIENT MATERIALS.
3. TESTS AND INSPECTIONS REPORTS: TESTING LABORATORY WILL SUBMIT STATING COMPLIANCE OR NONCOMPLIANCE WITH CONTRACT DOCUMENTS TO OWNER, CONTRACTOR, ARCHITECT (STRUCTURAL ENGINEER) AND, UPON REQUEST, TO GOVERNING CODE AUTHORITY. SEE SPECIFICATIONS FOR ADDITIONAL TEST AND INSPECTION REQUIREMENTS.
4. CONTINUOUS SPECIAL INSPECTION: TESTING LABORATORY WILL PROVIDE COMPLIING WITH CBC SECTION 1704, UNLESS OTHERWISE NOTED, FOR THE FOLLOWING PERIODIC INSPECTION IS NOT PERMITTED UNLESS INDICATED BELOW OR OTHERWISE ACCEPTED BY ARCHITECT (STRUCTURAL ENGINEER):
 - A. ANCHORS INSTALLED IN CONCRETE.

LUMBER

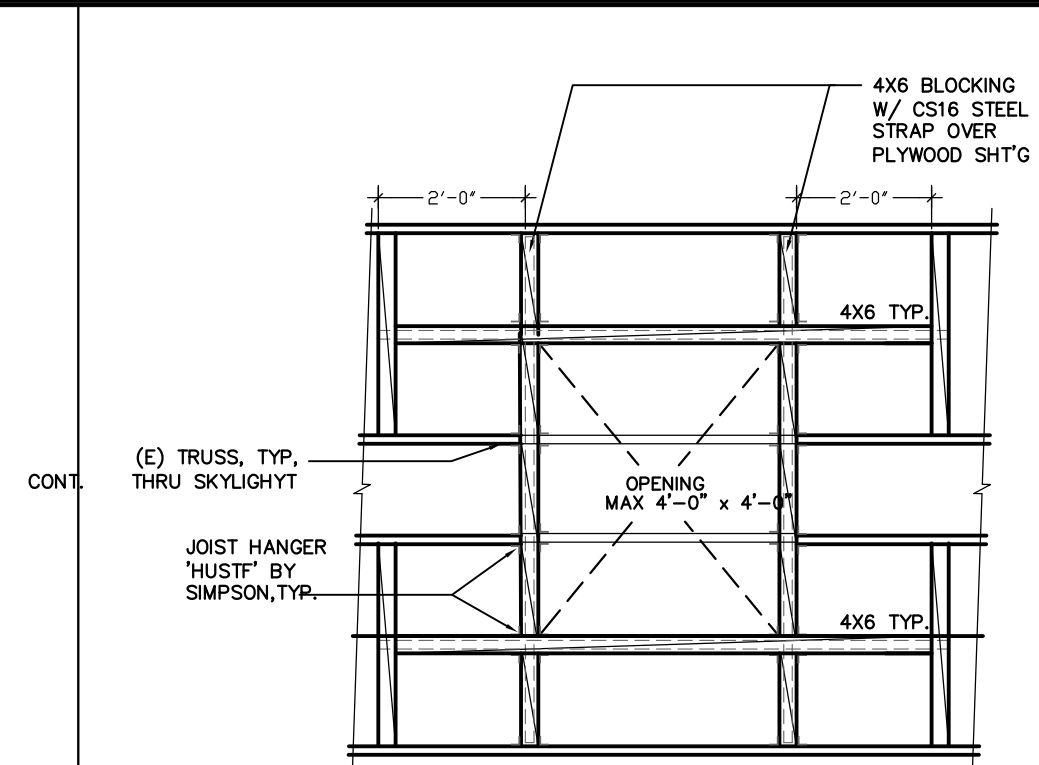
1. ALL LUMBER SHALL BE DOUGLAS LARCH FIR, GRADED.
2. ALL STRUCTURAL PLYWOOD SHALL BE GRADED IN ACCORDANCE WITH APA GRADING RULES, IN CONFORMITY WITH PRODUCT STANDARD PS 1-95, DOUGLAS FIR-LARCH, STRUCTURAL I OR CDX SEE PLAN.
3. CUTTING AND BORING OF WOOD STUDS:
 - A) EXTERIOR WALL AND BEARING WALL STUDS MAY BE NOTCHED A MAXIMUM OF 25% OF THE STUD DEPTH. NON-BEARING WALL STUDS MAY BE NOTCHED TO A MAXIMUM OF 40% OF THE STUD DEPTH.
 - B) A HOLE NOT GREATER THAN 40% OF THE STUD DEPTH MAY BE BORED IN ANY STUD. A HOLE OF 60% OF THE STUD DEPTH MAY BE BORED IN NON-BEARING STUDS OR IN ANY STUD WHERE SUCH STUD IS DOUBLED PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD. BORED HOLE SHALL NOT BE LOCATED AT THE SAME SECTION OF THE STUD AS LAMBER OR CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED PER CBC 2304.11
4. UNLESS OTHERWISE NOTED ON THE PLANS, FLOOR JOISTS SHALL BE DOUBLED UNDER ALL PARALLEL PARTITIONS.
5. ALL ROOF RAFTERS AND FLOOR JOISTS SHALL BE BLOCKED AT SUPPORTS AND MAXIMUM 8' INTERVALS.
6. WHERE CEILING JOISTS RUN OTHER THAN PARALLEL TO THE ROOF RAFTERS, RAFTERS SHALL BE TIED BACK BY 1 X 4 CROSS TIES AT 4'-0" O.C. NAILED TO THE RAFTERS WITH 3 - 16D NAILS. FOR TILED ROOF, ALL ROOF MATERIALS SHALL BE TIED BACK BY 8 X 4 CROSS PURLIN & STRUTS.
7. WHEN PURLIN & STRUTS ARE REQUIRED TO REDUCE RAFTER SPANS, THEY SHALL BE AT LEAST THE DEPTH OF THE RAFTER SUPPORTED.
8. THE MINIMUM ANGLE BETWEEN THE PURLIN STRUT AND THE HORIZONTAL SHALL BE 45 DEGREES.

9. PRIOR TO COVERING, ALL NAILING OF ROOF AND FLOOR SHEATHING SHALL BE INSPECTED AND APPROVED BY THE BUILDING INSPECTOR, WHERE USED AS SHEATHING FOR SHEAR WALLS PER SHEAR WALL SCHEDULE OR AS WALL BRACING PER NOTE NUMBER 4 OF THIS SECTION, THE NAILING OF ALL GYPSUM BOARD SHALL BE INSPECTED UNLESS OTHERWISE NOTED. ALL HEADERS ARE 4 X 4 FOR OPENINGS OF -0" OR LESS AND 4 X 6 FOR OPENINGS OVER 4'-0", BUT LESS THAN OR EQUAL TO 6'-0". PROVIDE SIMPSON "U" TYPE HANGERS UNLESS OTHERWISE NOTED.
 10. PROVIDE DOUBLE STUDS UNDER ALL BEAMS UNLESS OTHERWISE NOTED.
 11. ALL DOUBLE STUDS AND POSTS SHALL BE CONTINUOUS DOWN TO FOUNDATION. SOLID BLOCKED AT FLOOR LEVELS.
 12. SEE ARCHITECTURAL PLANS FOR ALL INTERIOR WALL FINISH SURFACE.
 13. UNLESS OTHERWISE NOTED ALL POST TO BEAM AND POST TO FLOOR CONNECTIONS SHALL BE SIMPSON STRONG TIE POST CAP OR POST BASE OR APPROVED EQUAL.
 14. ALL EXTERIOR WALL SURFACES SHALL RECEIVE 7/8" STUCCO OVER PAPER BACKED LATH WITH 16 GAUGE STAPLES AT 6" O.C. TOP AND BOTTOM PLATES, EDGES OF THE SHEAR WALL AND FIELD. (CC-ES ESR1318, CITY OF LOS ANGELES R.R. UNLESS OTHERWISE NOTED ON FLOOR PLANS, LAP TOP PLATES 4'-0" AND PROVIDE 16-16D NAILS EACH SIDE OF SPLICE.
 15. ALL STUD WALLS SHALL BE BRACED WITH 1 X 6 CONTINUOUS DIAGONAL BRACE LET INTO THE STUDS AT MAXIMUM 25'-0" O.C. AND AT SUCH AN ANGLE SO AS TO CROSS A MINIMUM OF 4 STUD SPACES. NAIL AT STUDS BRACING AND SUB-SUBJECTS PER NOTE 2. UNLESS BRACE OTHERWISE NOTED.
 16. ALL DOUBLE ROOF RAFTERS AND FLOOR JOISTS SHALL BE NAILED TOGETHER WITH 16D AT 6" O.C. STAGGERED.
 17. ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1 1/2" ON WOOD OR METAL AND NOT LESS 3" ON MASONRY.
 18. ALL FLOOR JOISTS AND ROOF RAFTERS SHALL BEAR WITHIN 4" OF THE STUD BELOW.
 19. CATEGORY
- | MIN. SIZE OF LINTEL U.N.O. | SUPPORTING FLOOR, ROOF & CEILING ONLY | SUPPORTING ROOF & CEILING ONLY |
|----------------------------|---------------------------------------|--------------------------------|
| 4 x 4 OR 6 x 4 | 3'-0" | 4'-0" |
| 4 x 6 OR 6 x 6 | 5'-0" | 6'-0" |
| 4 x 8 OR 6 x 8 | 7'-0" | 8'-0" |
| 4 x 10 OR 6 x 10 | 8'-0" | 9'-0" |

NAILING SCHEDULE (TABLE)

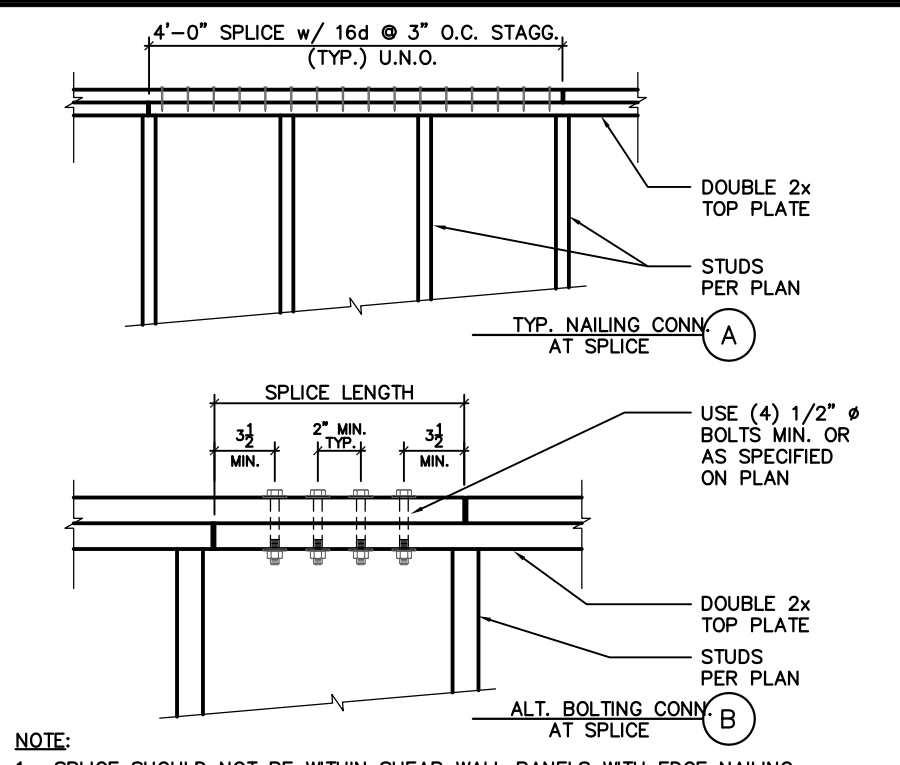
2x4 (OR 4) OR GIRDER, TOE NAIL	3-8d
BRIDGING TO JOIST, TOENAIL EACH END	2-8d
SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL	16d@16"oc
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALLS - FACE NAIL	16d@8"oc
TOP PLATE TO STUD, END NAIL	2-16d
TOP PLATE TO STUD, END NAIL	4-8d, toenail, or 2-16d, end nail
DOUBLE STUDS, FACE NAIL	16d@24"oc
DOUBLE TOP PLATES, TYPICAL FACE NAIL	16d@16"oc
DOUBLE TOP PLATE, LAP SPLICE	8-16d
LOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	8d@6"oc
JOIST TO TOP PLATE, TOE NAIL	8d@6"oc
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
CEILING JOISTS TO PLATE, TOENAIL	3-8d
CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
PARALLEL JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
RAFTER TO PLATE, FACE NAIL	3-8d
BUILT-UP CONER STUDS	16d@24"oc
20 PLANKS	2-16d@each bearing

STRUCTURAL NOTES



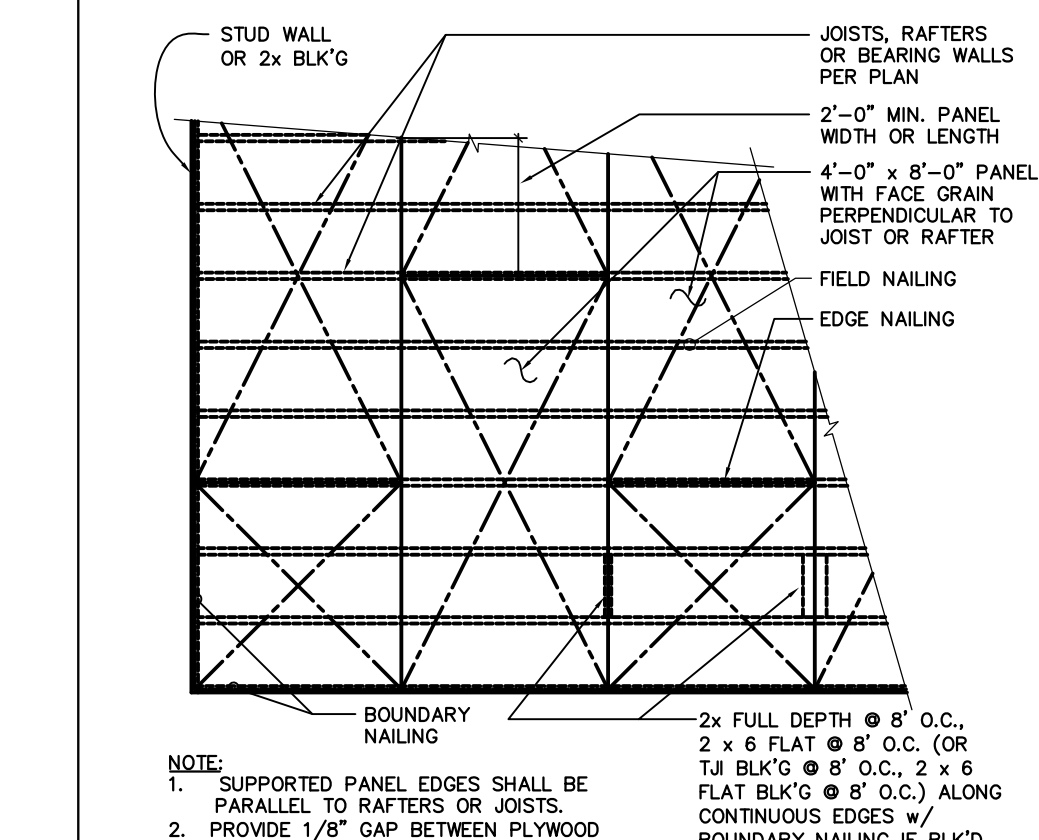
DIAPHRAGM OPENING

1



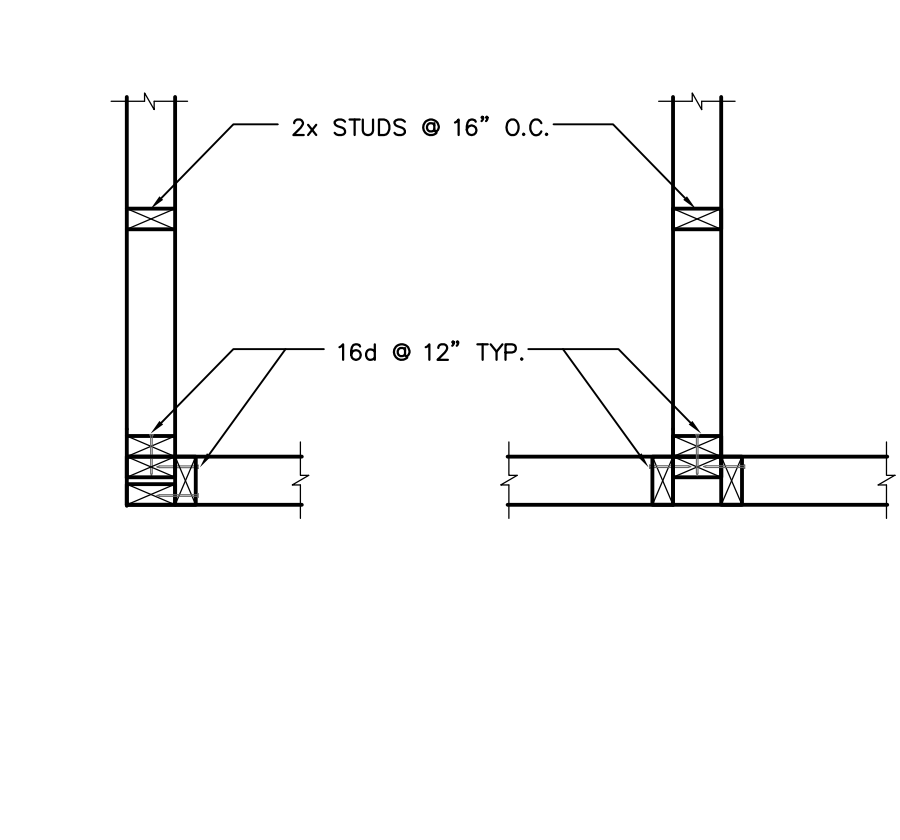
TOP PLATE

5



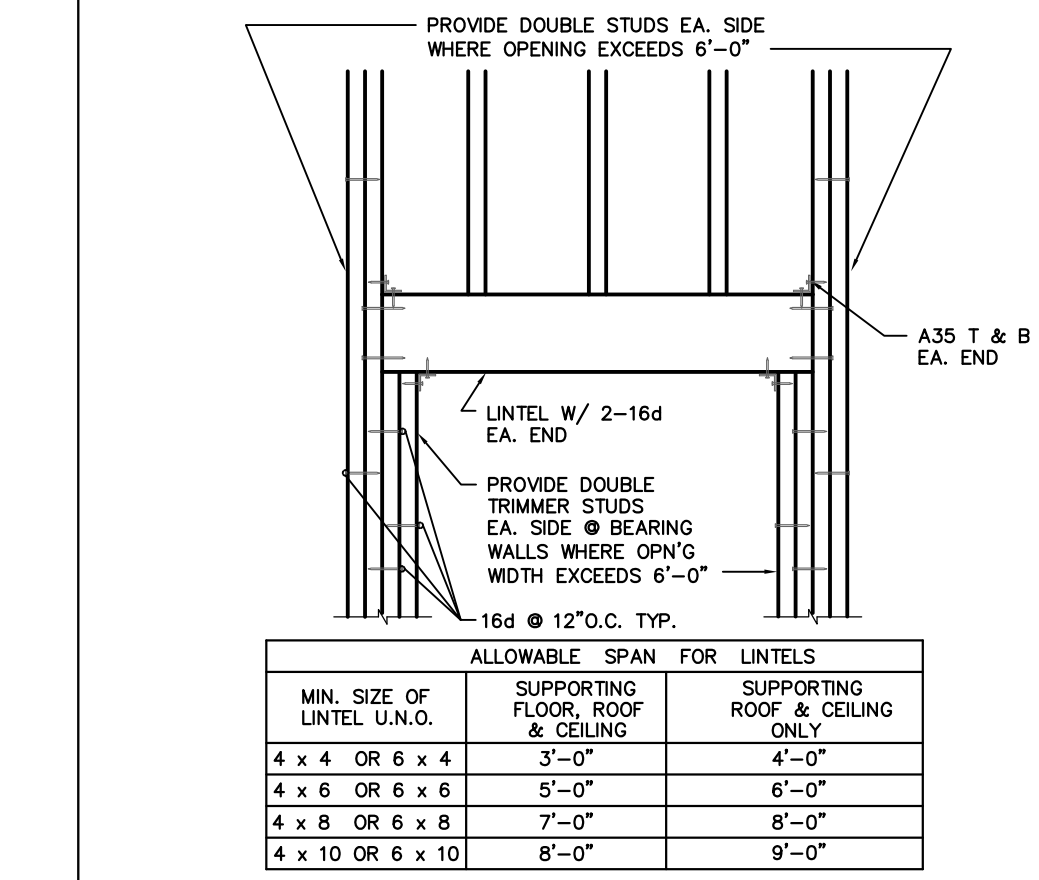
HORIZONTAL DIAPHRAGM

2



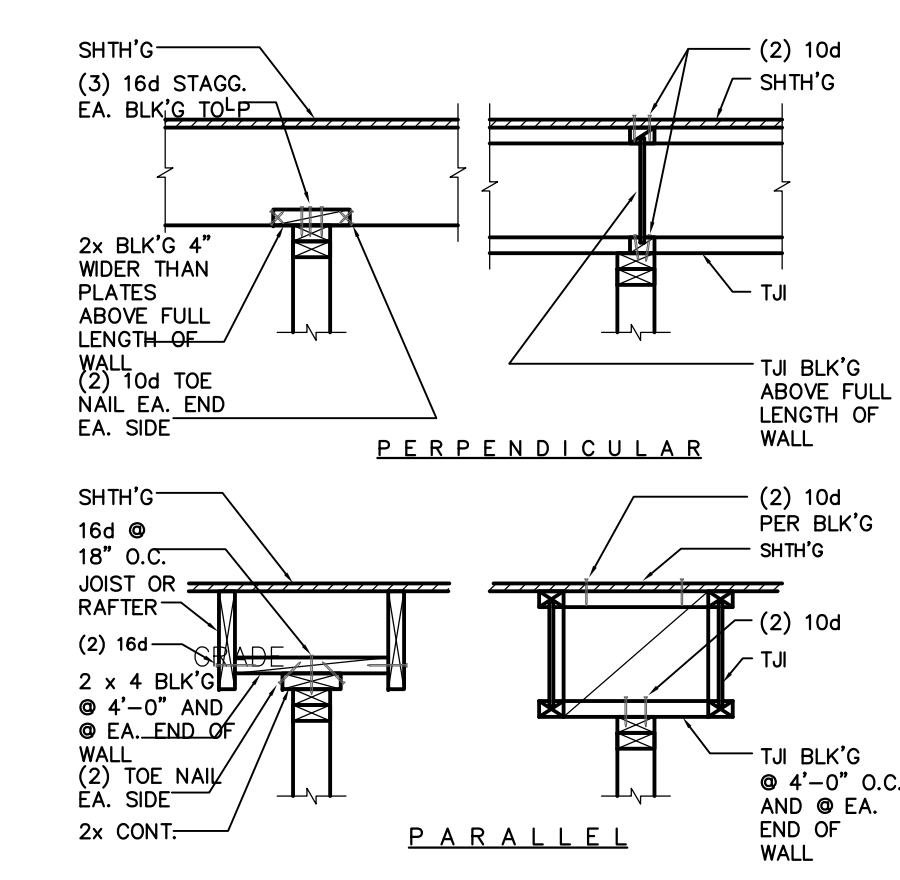
CORNER WALL

6



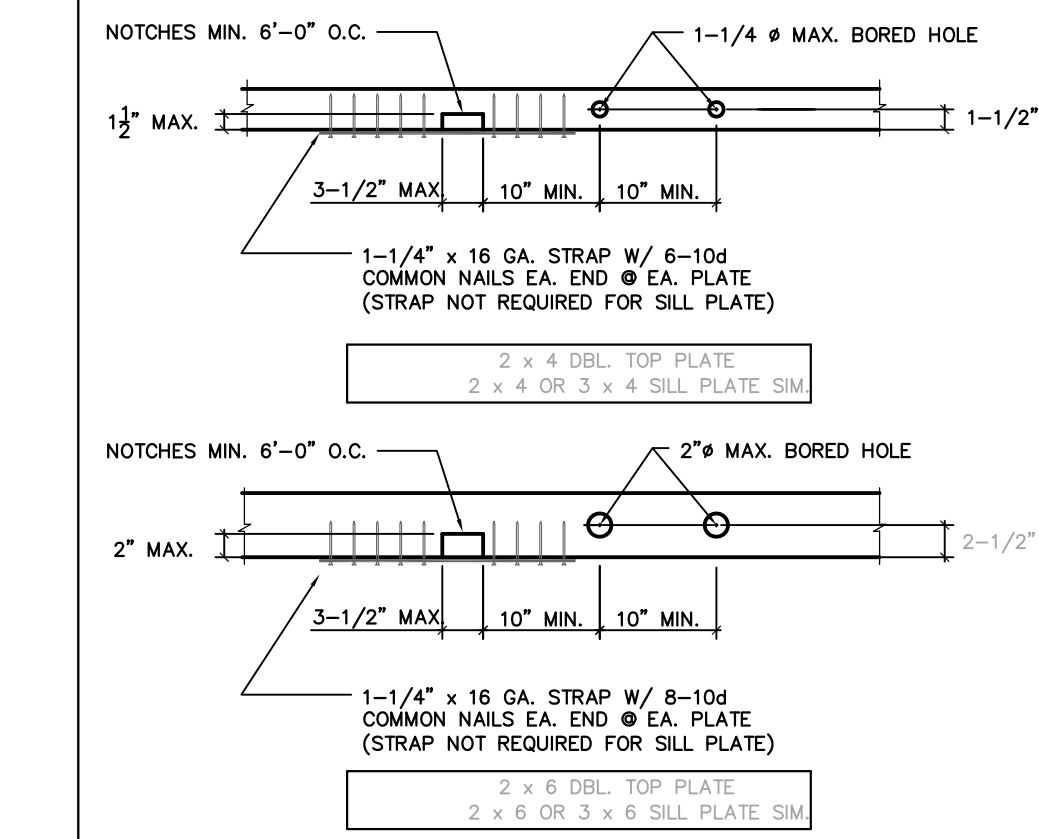
TYPICAL HEADER SCHEDULE

3



NON-BEARING WALL

8



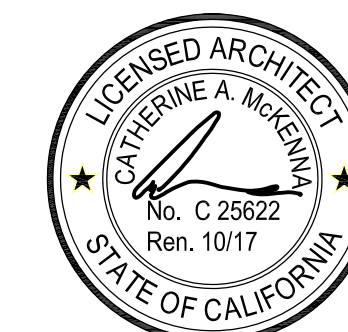
NOTCH IN WOOD

4

Catherine McKenna
Architect, Inc.

SAPPHIRE
engineering company, inc.
1843 MONTGOMERY ROAD
THOUSAND OAKS, CALIFORNIA 91320
PHONE : (805) 426-9477
FAX : (805) 426-8488
EMAIL: ssc@sapphireci.com
WEB: www.sapphireci.com

21020 Victory Blvd.,
Woodland Hills, CA 91367
T: 818-983-8702
catherine@cmarchitect.biz



Cafe Bizou

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Issue	Date
Planning Dept. Submittal	7.12.16
Planning Dept. Corrections	9.21.16

Cafe Bizou

A2.3

Proposed Ceiling Plan

Copy Protection

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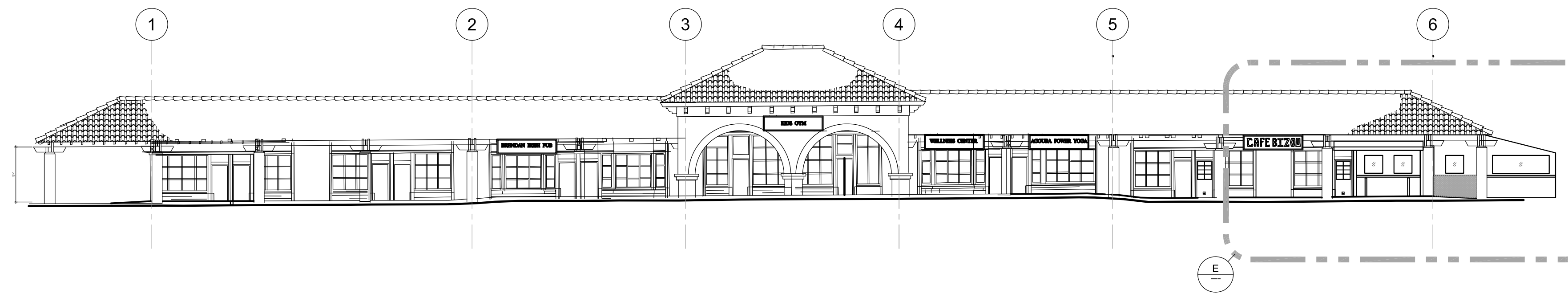
Cafe Bizou

A4.1

Exterior Elevations

Copy Protection

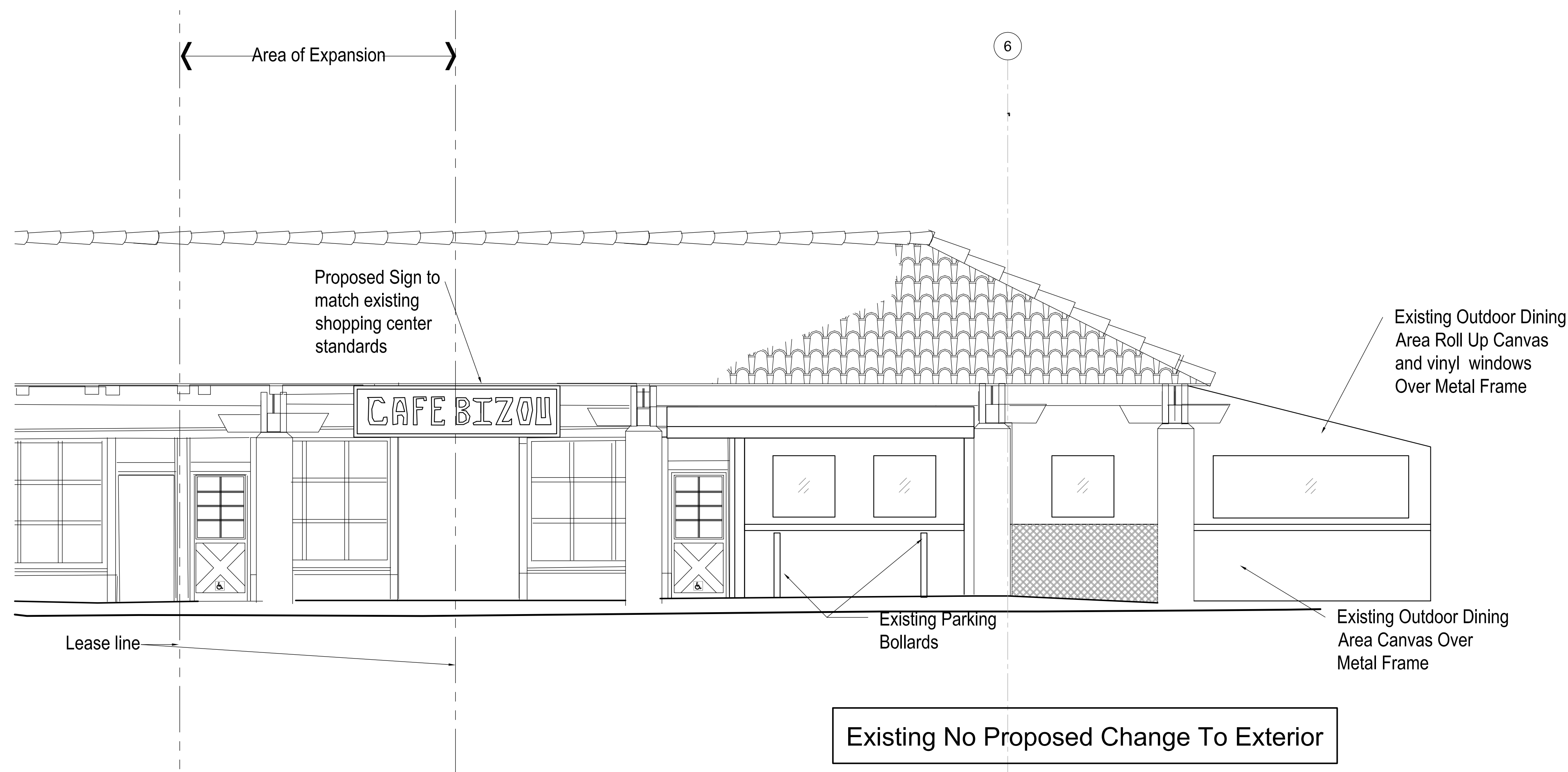
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Existing - 30315 West Elevation

Scale : 1/16" = 1'-0"

B

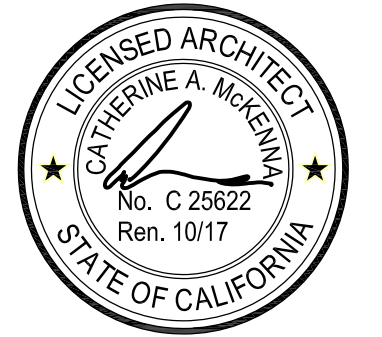


Existing No Proposed Change To Exterior

Existing - 30315 Enlarged Partial West Elevation

Scale : 1/4" = 1'-0"

E



Cafe Bizou

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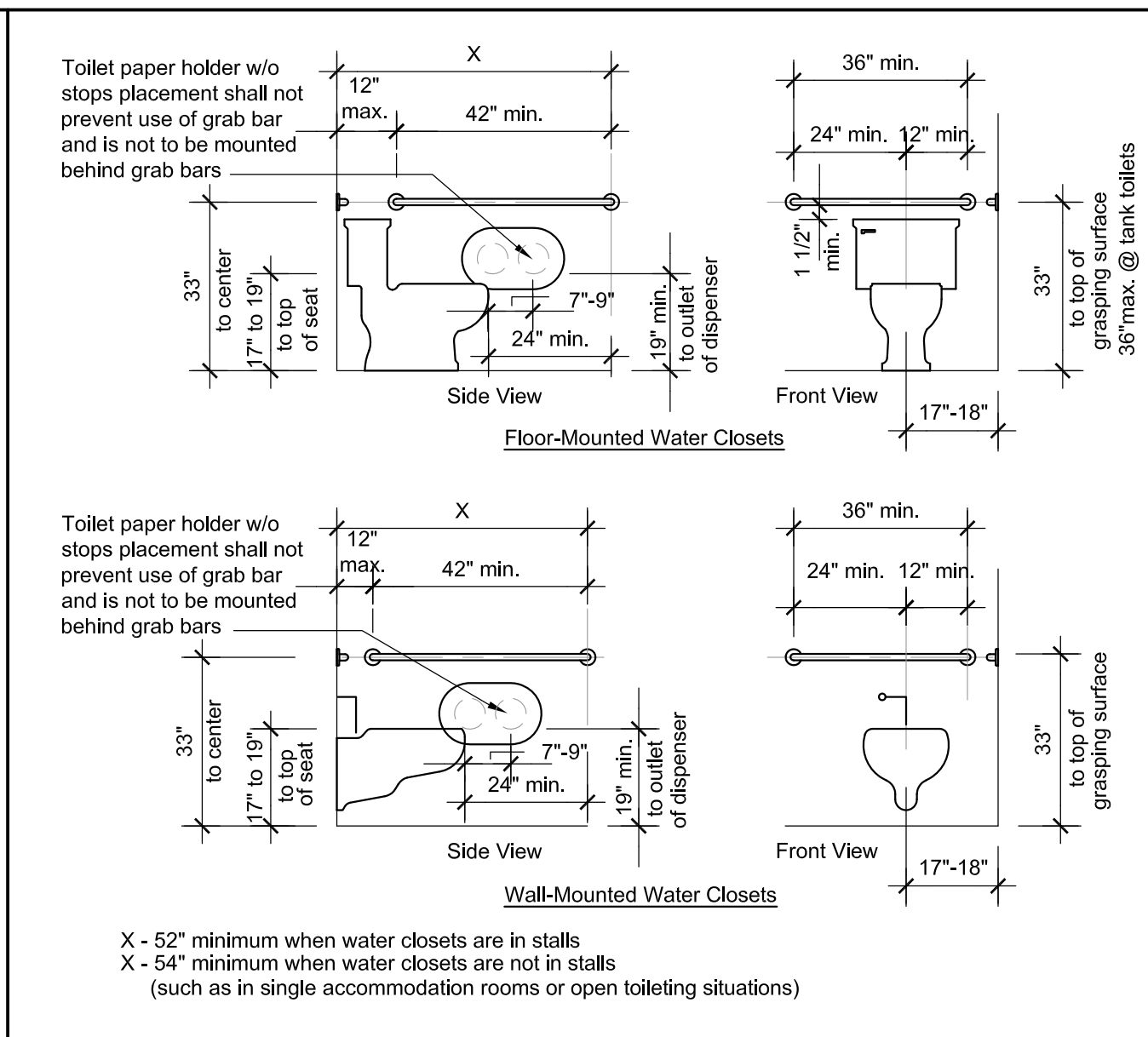
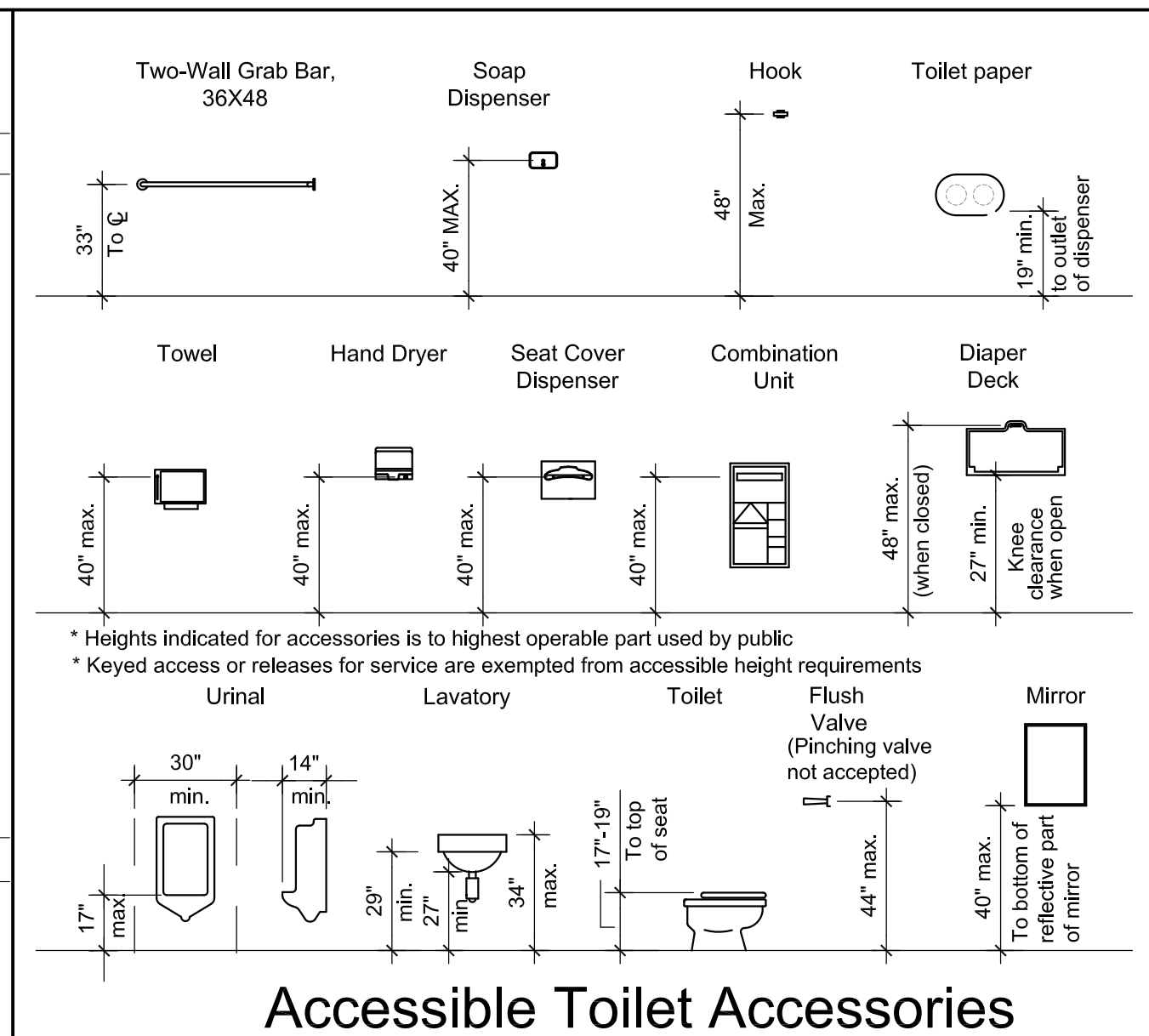
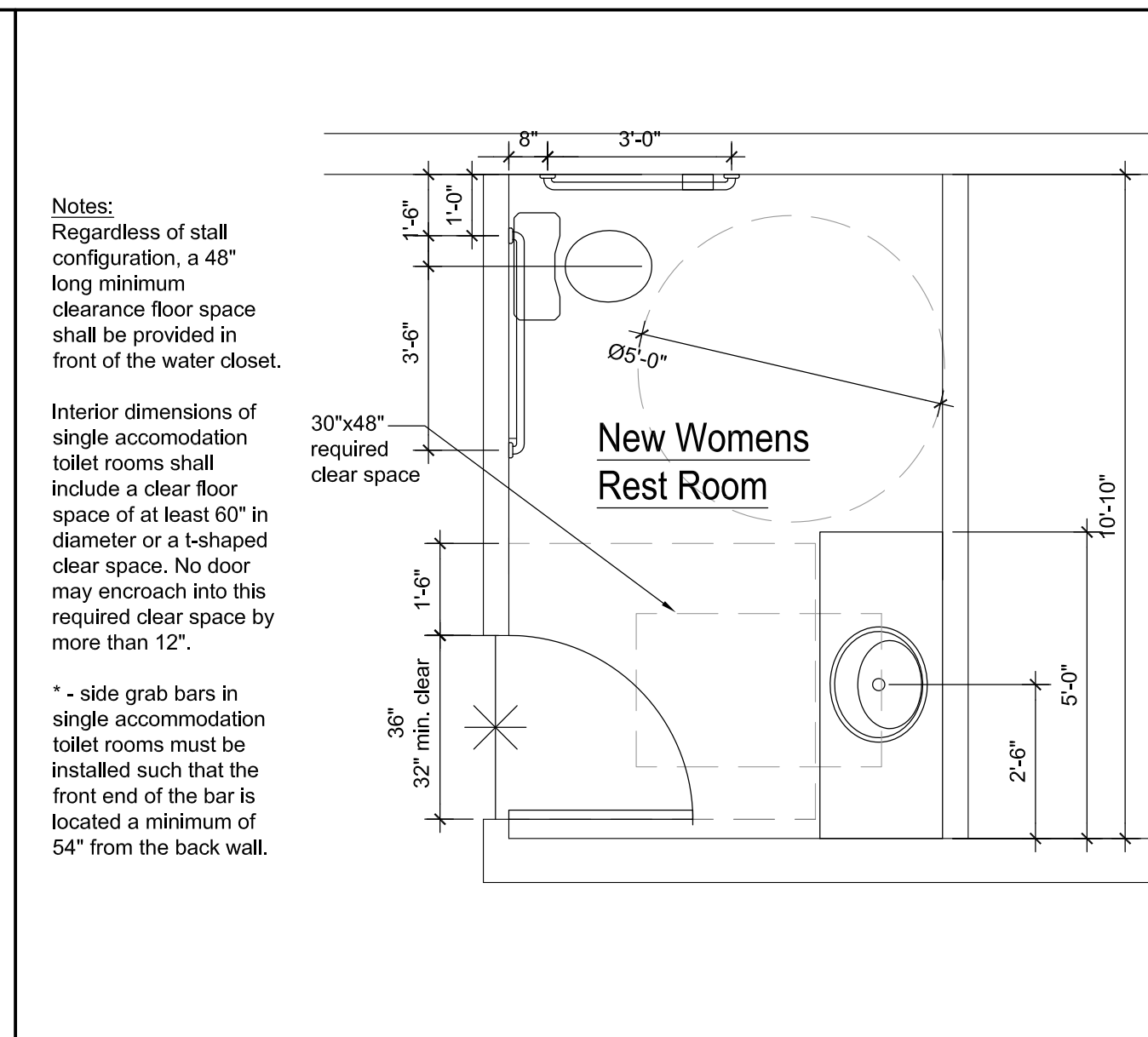
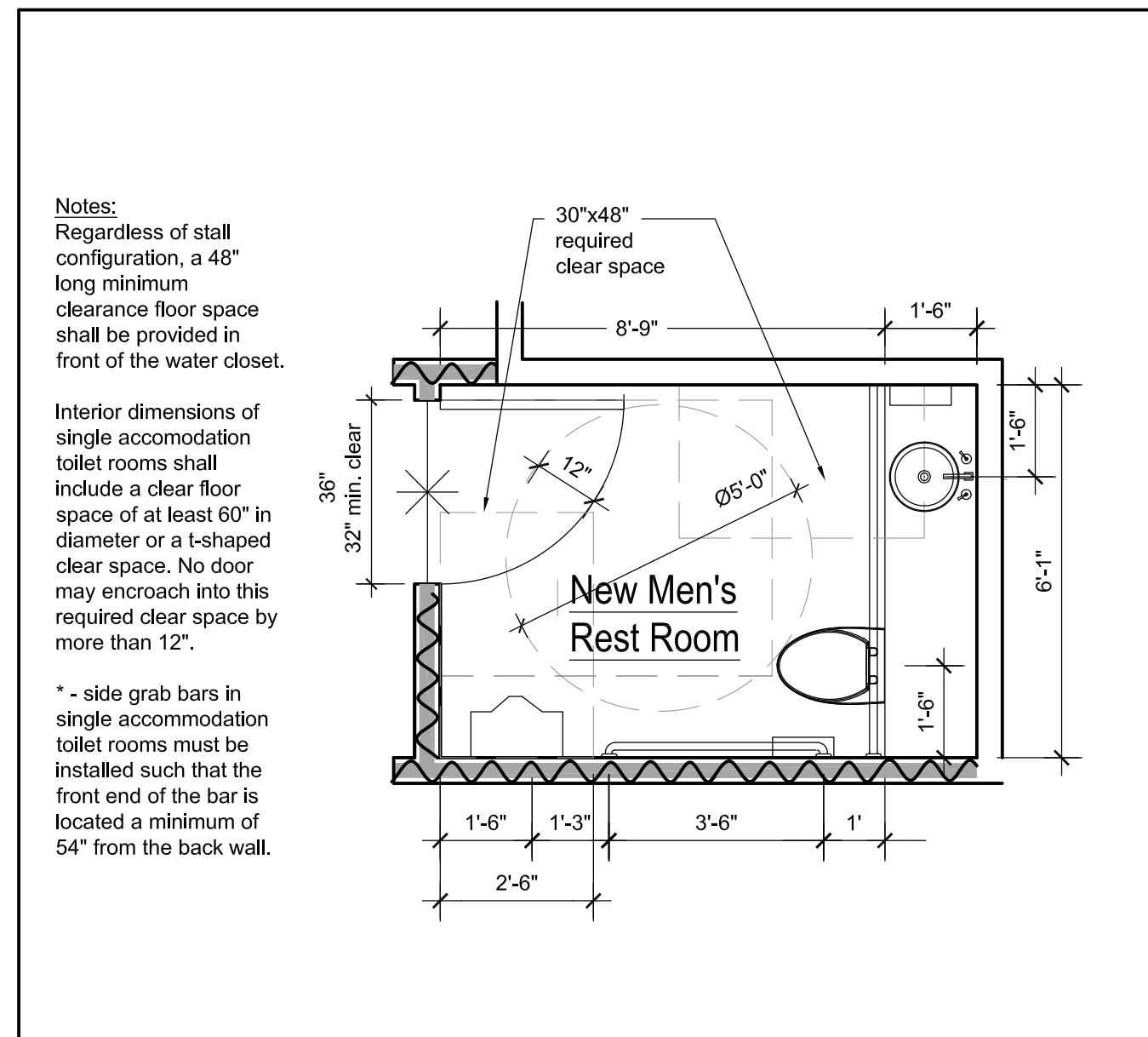
Cafe Bizou

A5.1

Rest Room Details and Notes

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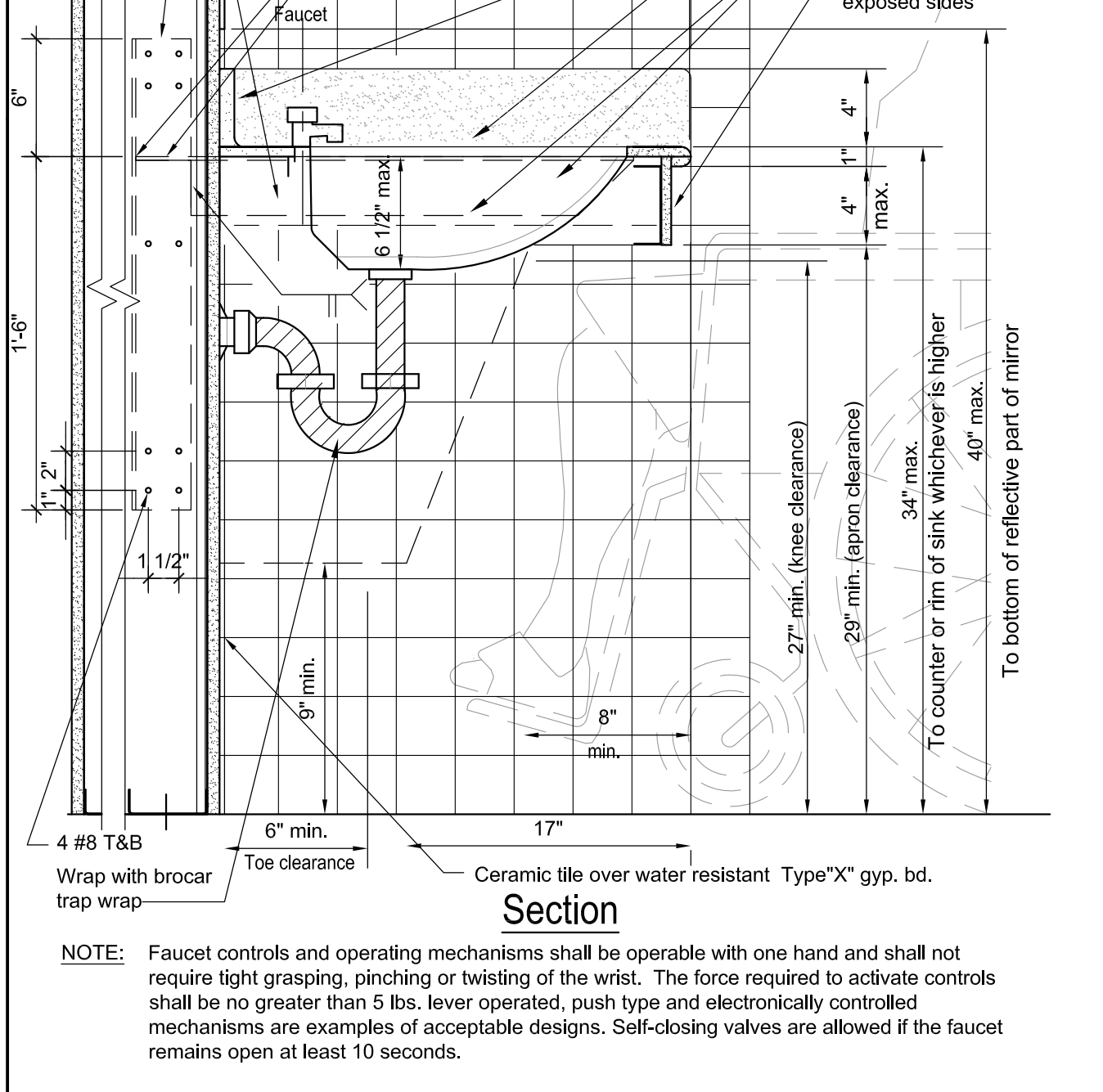
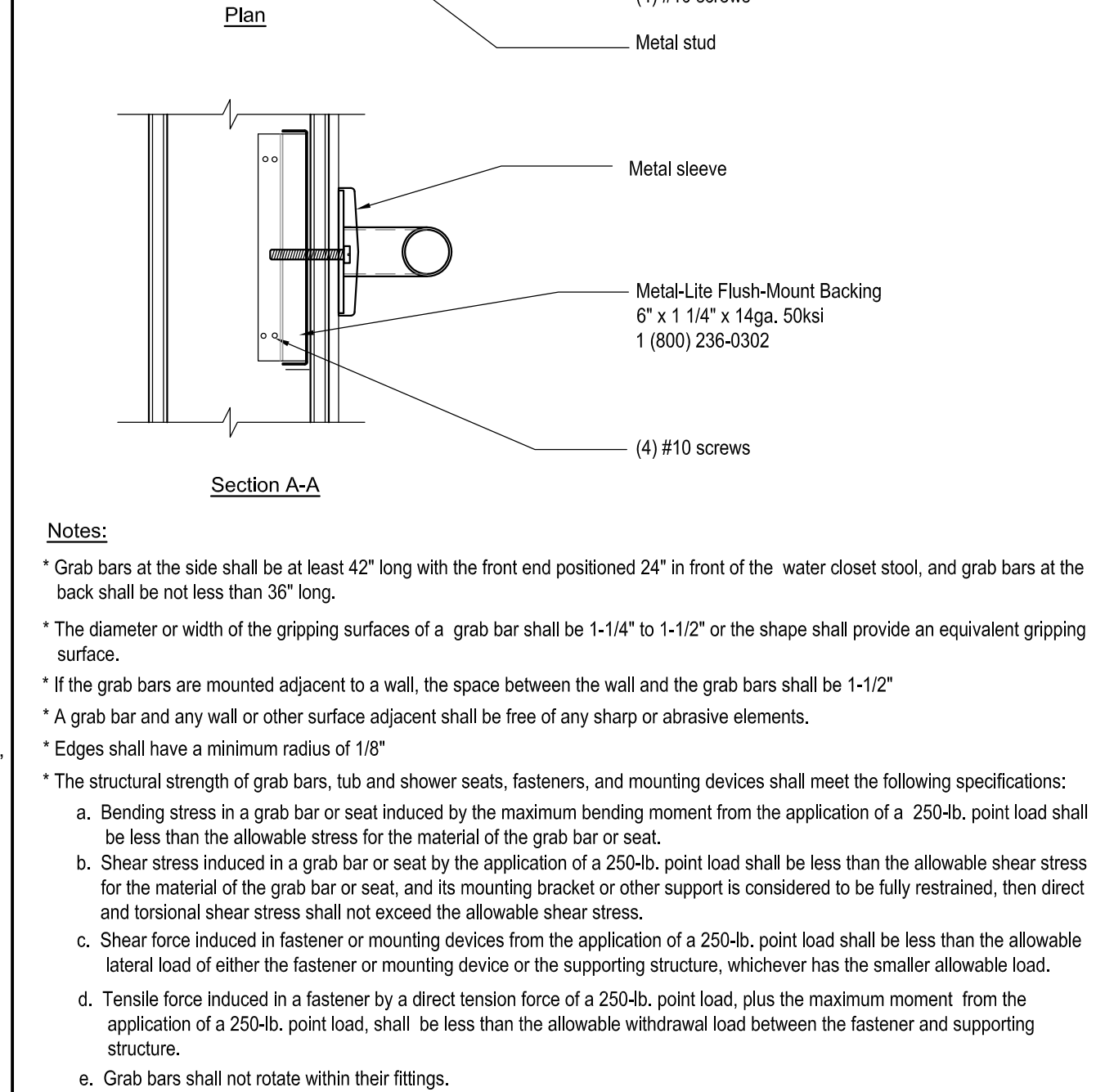
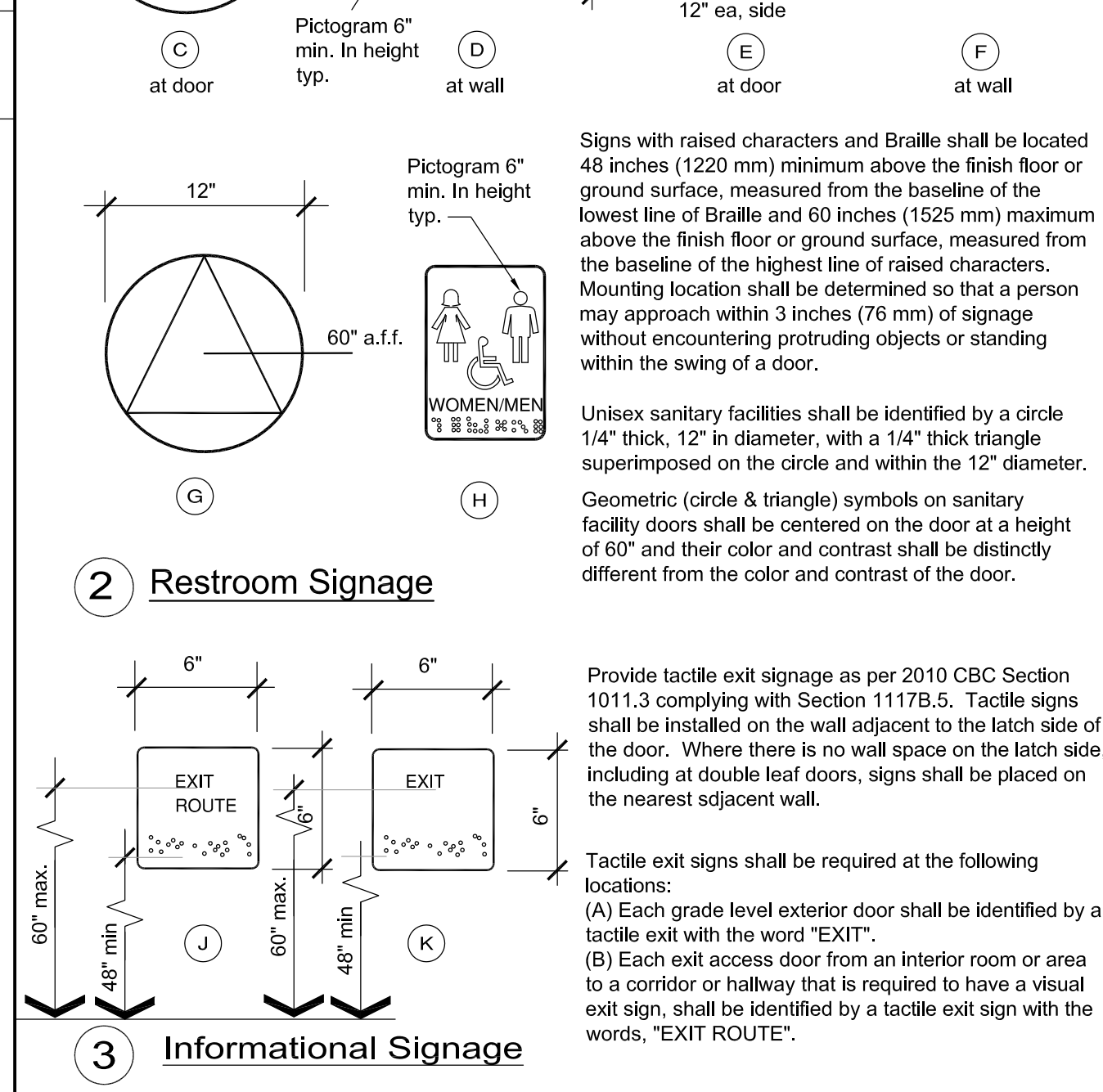
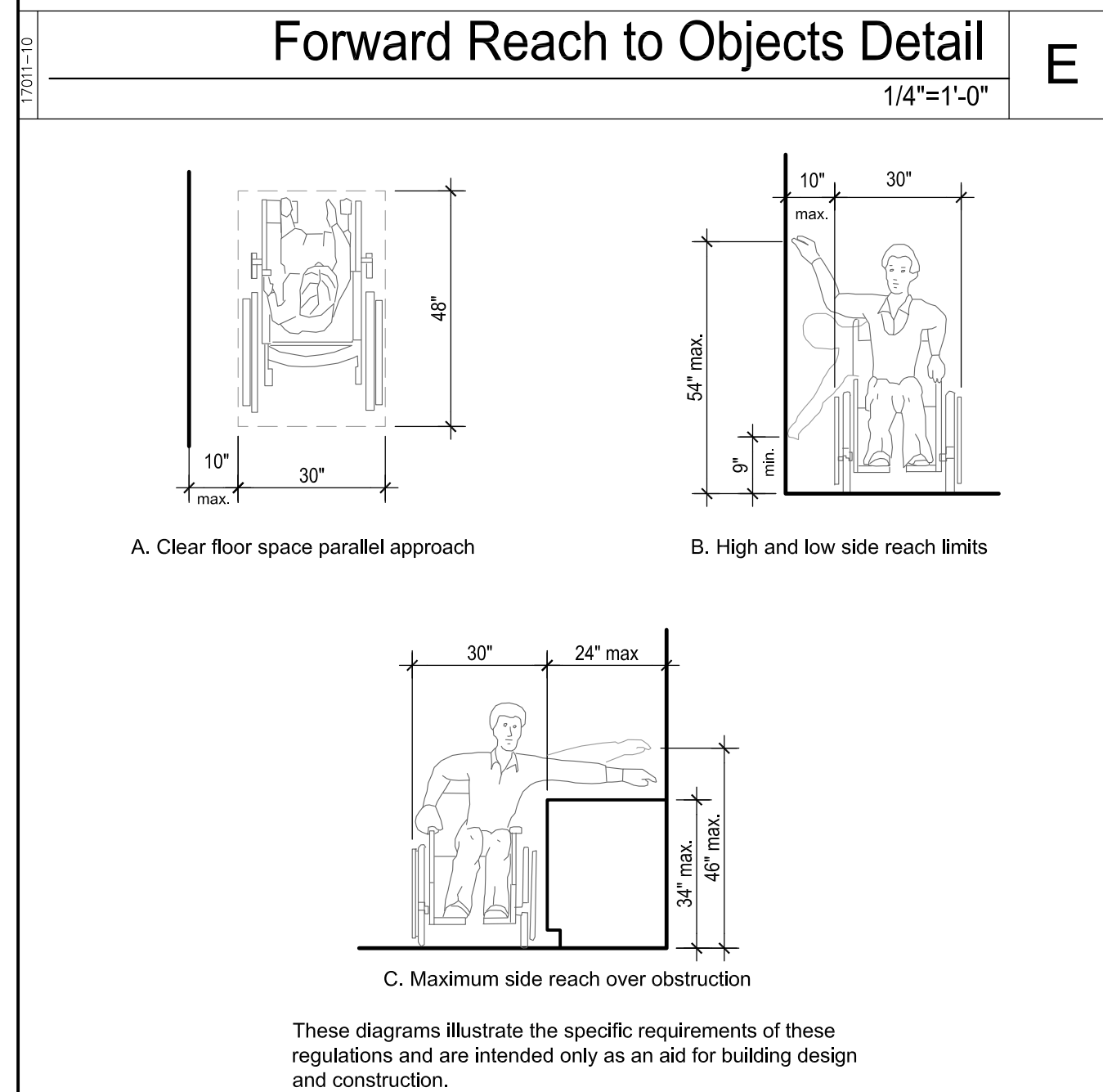
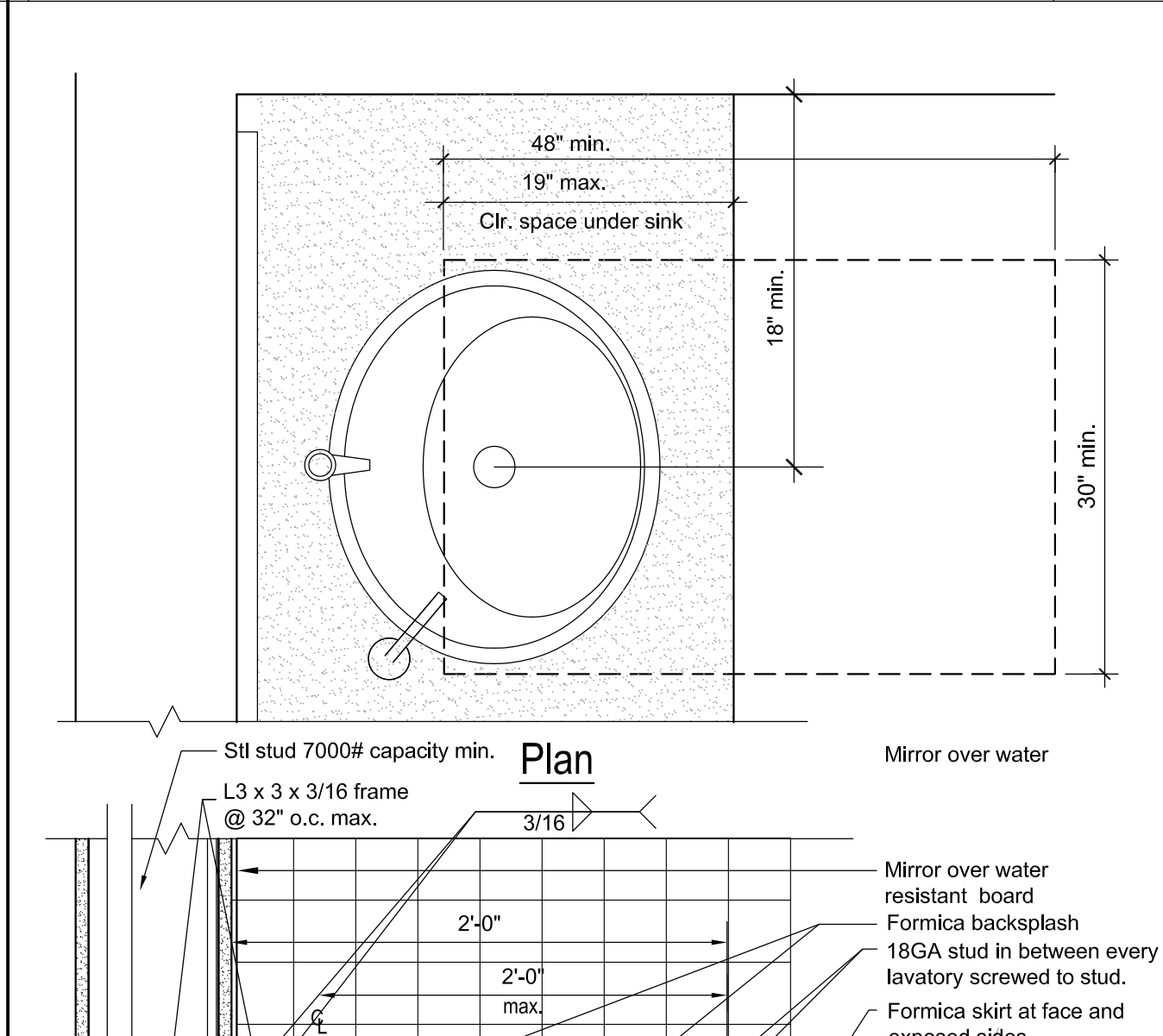
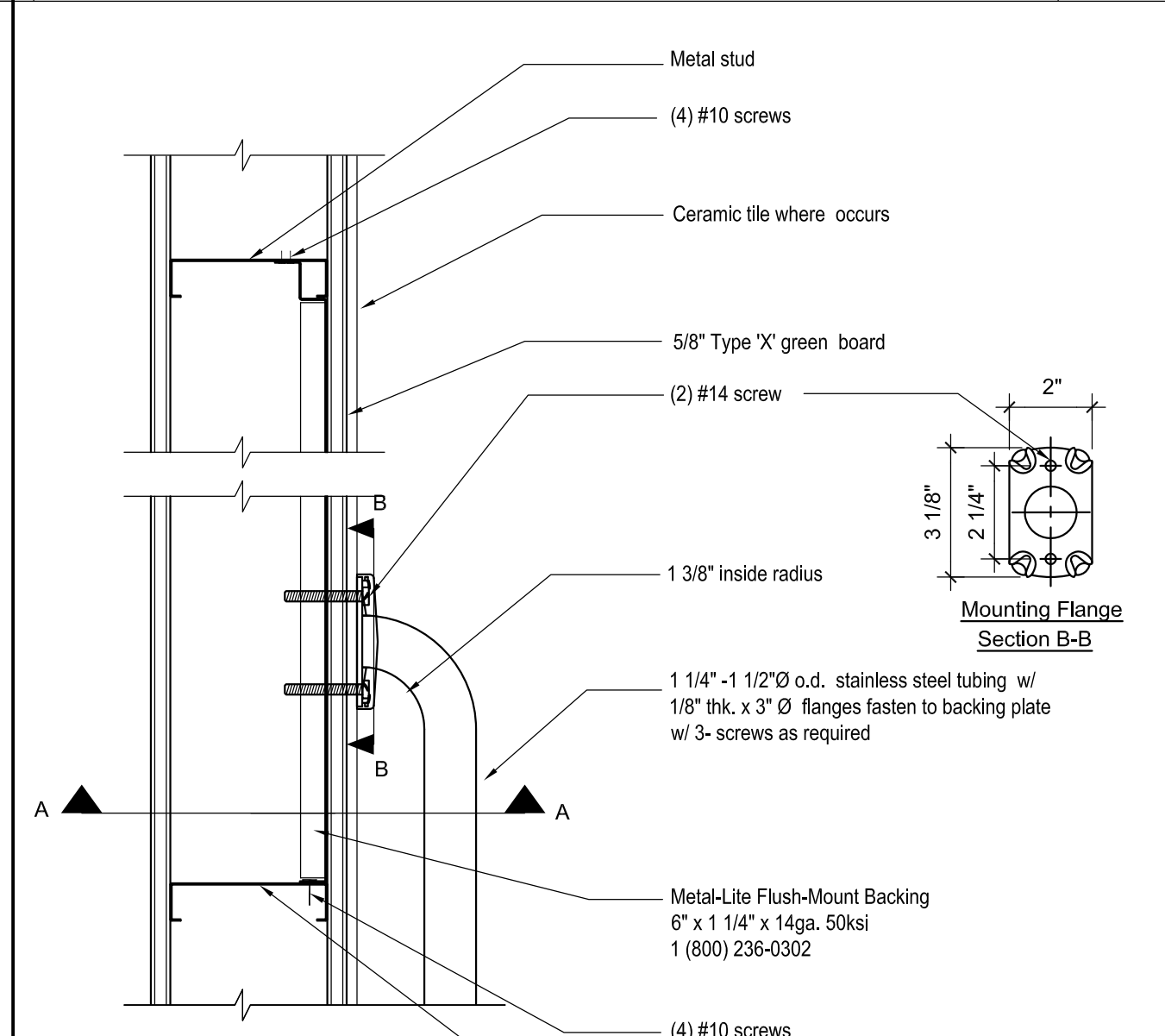
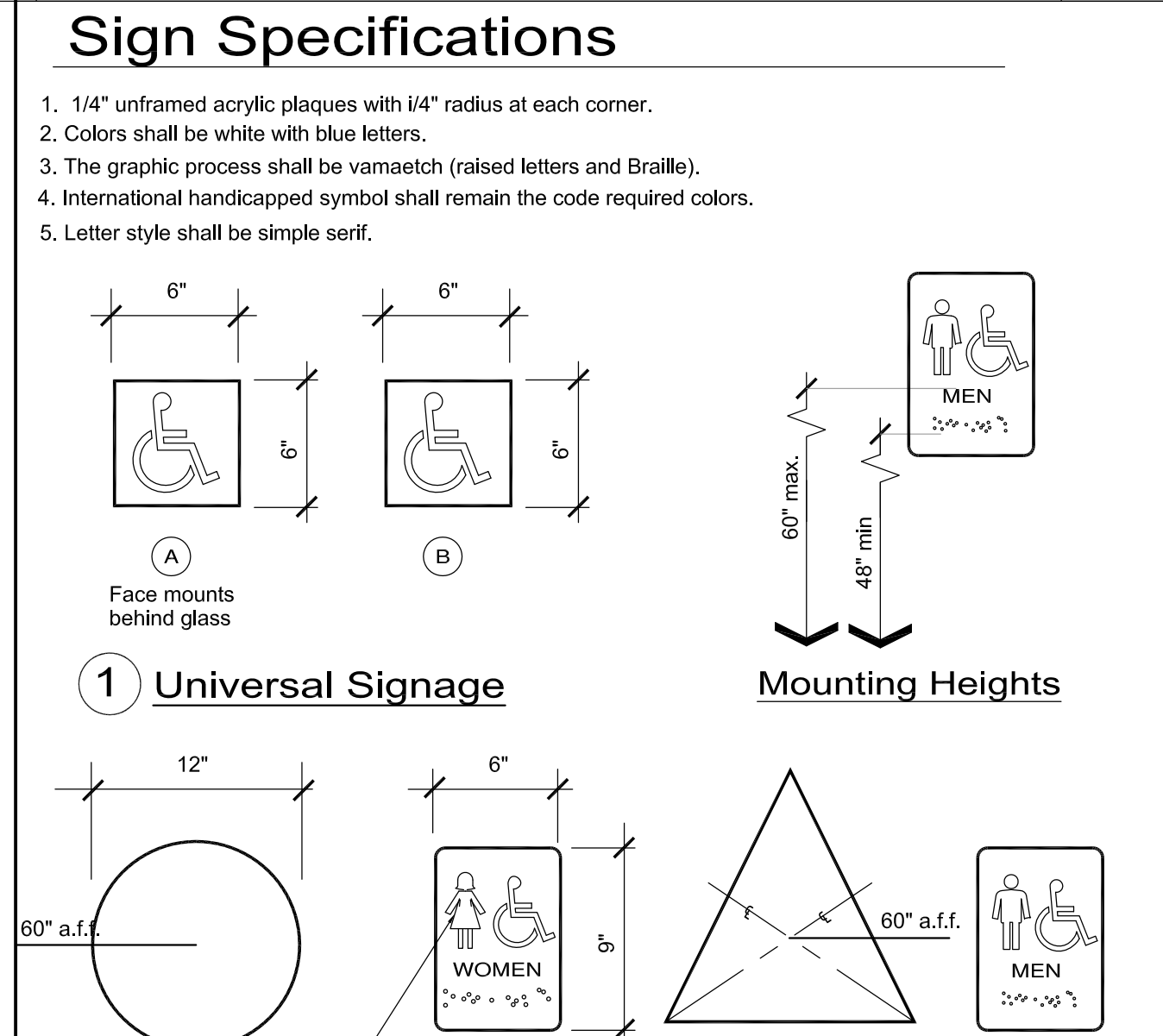
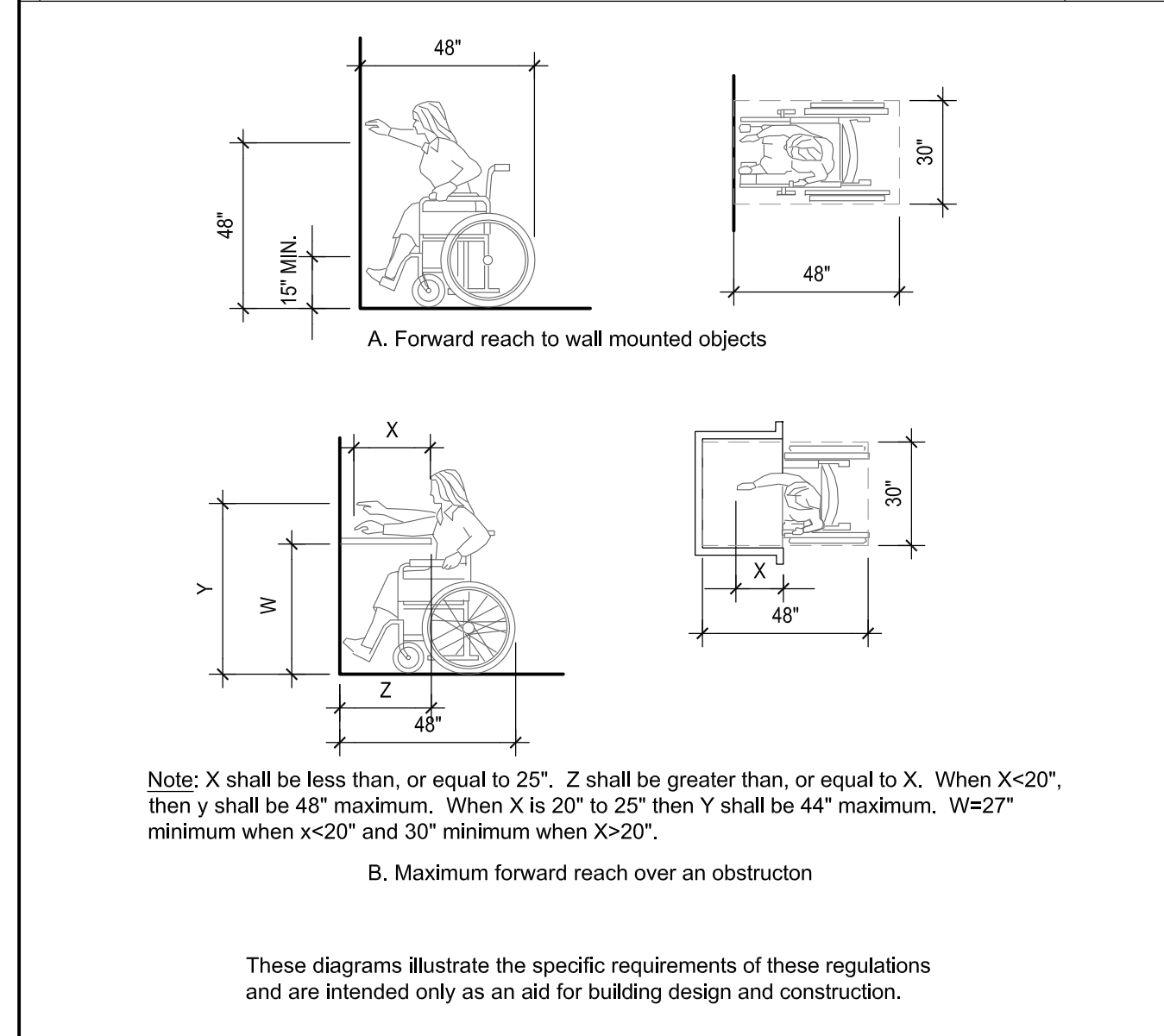


Single Accommodation Toilet A Scale: 3/8"=1'-0"

Single Accommodation Toilet B Scale: 3/8"=1'-0"

Accessible Toilet Accessories Mounting Heights C Not to scale

Water Closet Details D Not to scale

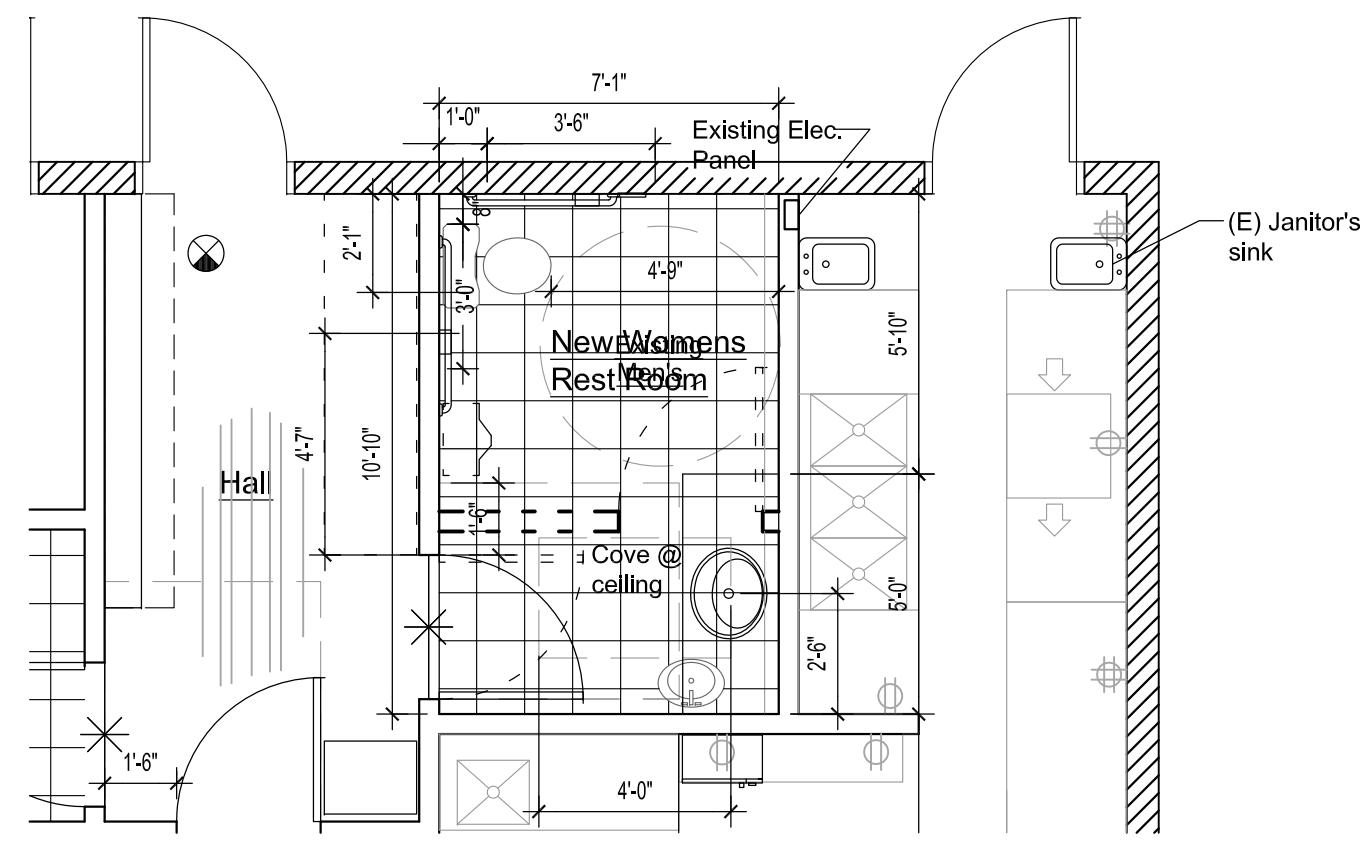


Side Reach to Objects Detail J 3/8"=1'-0"

Signage K N.T.S.

Typical Toilet Grab Bar L 3"=1'-0"

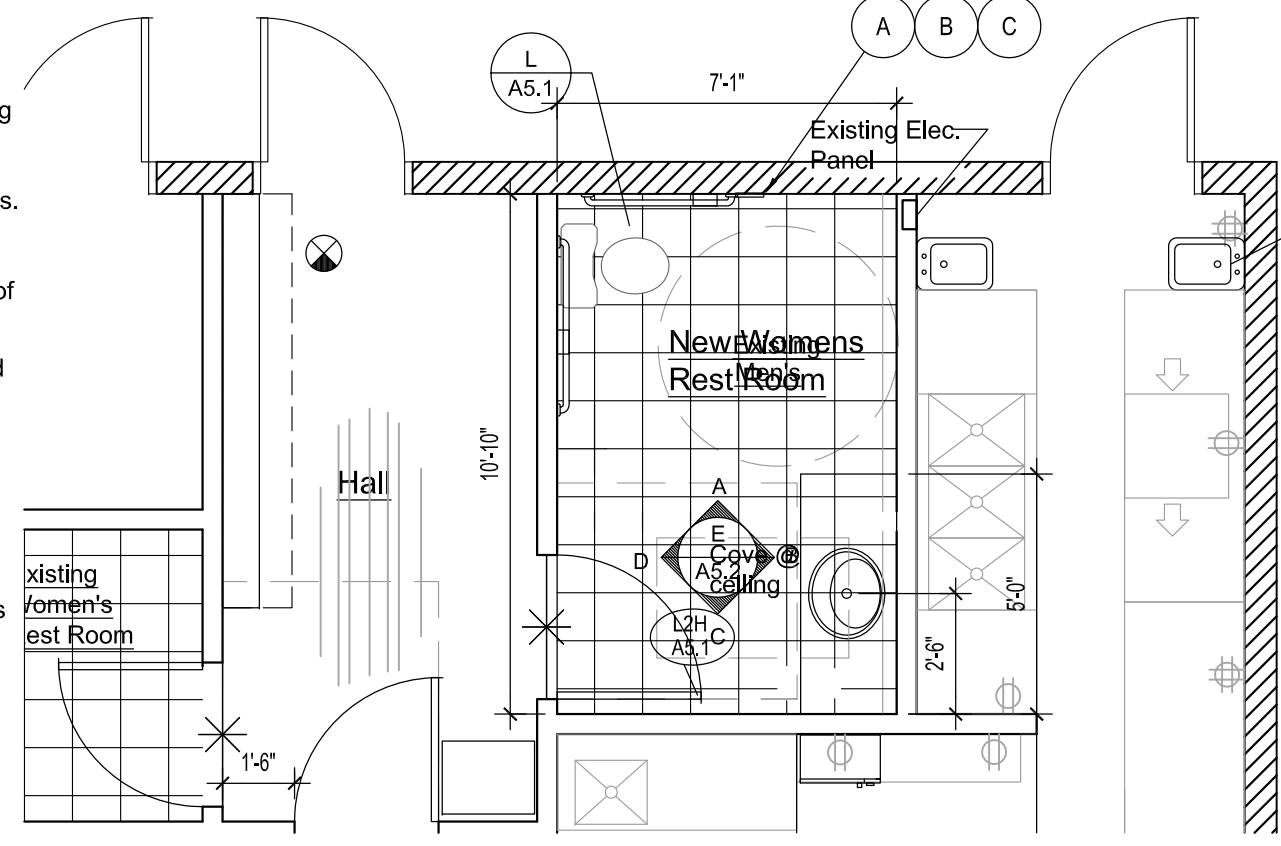
Counter Mounted Lavatory Section M Scale: 1 1/2"=1'-0"



Restroom Plan - Dimensional
Scale: 1/4"=1'-0"

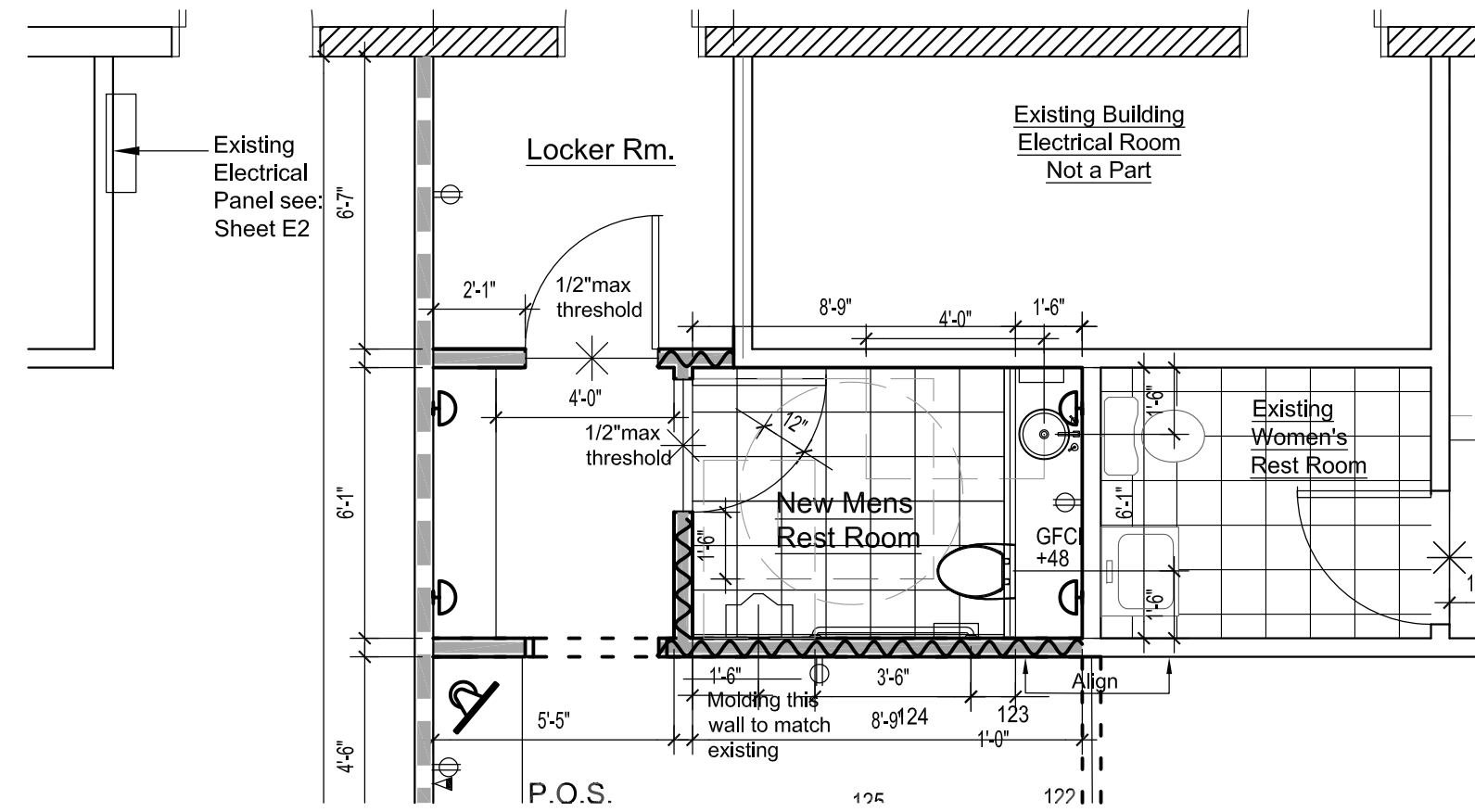
A

Note:
1. Faucet controls and operating mechanisms shall be operable with one hand and shall not require light grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbs. Lever operated, push type and electronically controlled mechanisms are examples of acceptable designs.
2. Restroom interior floor and wall surfaces: (2010 CBC Section 807) Floors shall have a smooth, hard non-absorbent surface extending upward onto the wall at least 5". Walls within 2-feet of the front and sides of Urinals and Water Closets shall have a smooth, hard non-absorbent surface to a height of 4-feet.



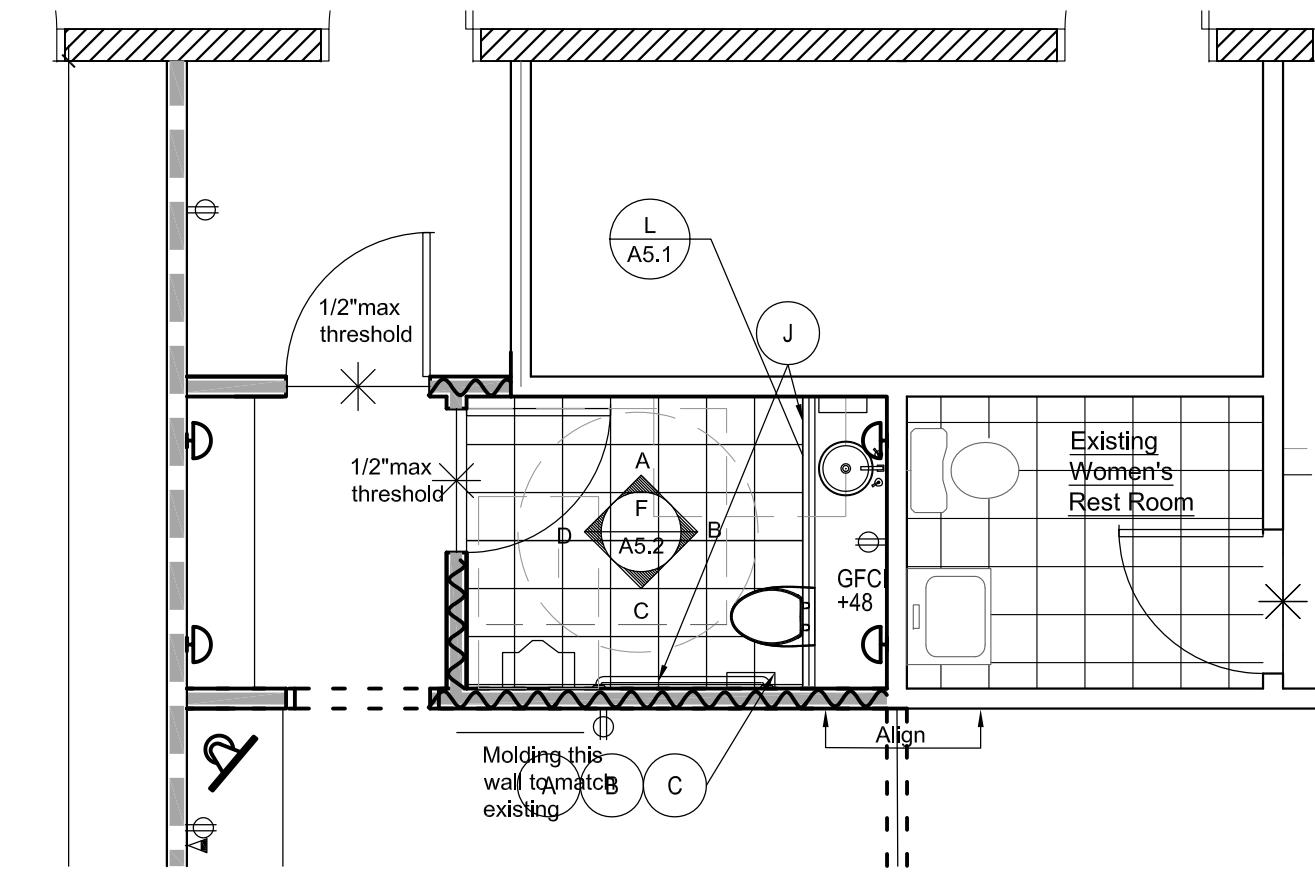
Restroom Plan - Notational
Scale: 1/4"=1'-0"

B



Restroom Plan - Dimensional
Scale: 1/4"=1'-0"

C



Restroom Plan - Notational
Scale: 1/4"=1'-0"

D

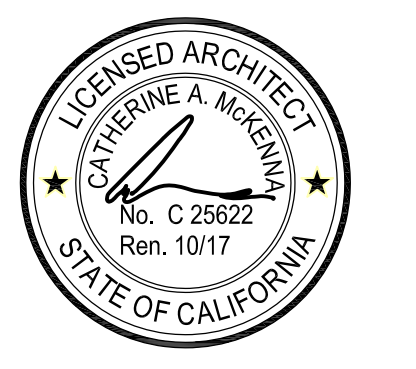
Accessories Schedule

ACCESSORY	SPECIFICATIONS	
	MANUFACTURER / TYPE	COLOR/ MISC.
A Toilet Tissue Dispenser (Recessed)	American Specialties, Inc. #9031 Recessed mount - Satin Finish Stainless Steel 6 1/4"W x 12 1/4"H x 3-3/4"D rough opening	
B Seat Cover Dispenser (Surface)	Bobrick B-221 Satin Finish Stainless Steel 15 3/4"W x 11"H x 2"D	
C Sanitary Waste Receptacle (Large, Surface)		
D Trap Insulation	Trap Wrap by Brocar Products Inc.	
E Clothes Hook and Bumper	American Specialties, Inc. #9014 Chrome Plated - 3" projection from wall	Satin Finish not available w/ bumper
F Paper towel dispenser (Large, Surface)	American Specialties, Inc. #0210 Satin Finish Stainless Steel 11"W x 14 5/8"H x 4 1/16"D	
G Soap dispenser (Surface)	American Specialties, Inc. #0345 Satin Finish Stainless Steel 8 1/8"W x 4 3/4"H x 4"D	
H Channel Frame Mirror (Surface)	American Specialties, Inc. #0620 Satin Finish Stainless Steel 24"W x 36"H x 1/2"D - 1/2" frame width	
J Grab Bar	American Specialties #3800 Satin Finish Stainless Steel 1-1/2" O.D. 1 1/2" Clearance to wall 36" Long at back wall 42" Long at sidewall 33" Mounting Height, if tank top obstructs the bar rear grab bar, it may be raised to 36" max. height	

Remarks 1. See C/A5.1 for mounting heights.
2. All accessories To be Removed and Reused from existing Rest Rooms, As necessary.

Catherine McKenna
Architect, Inc.

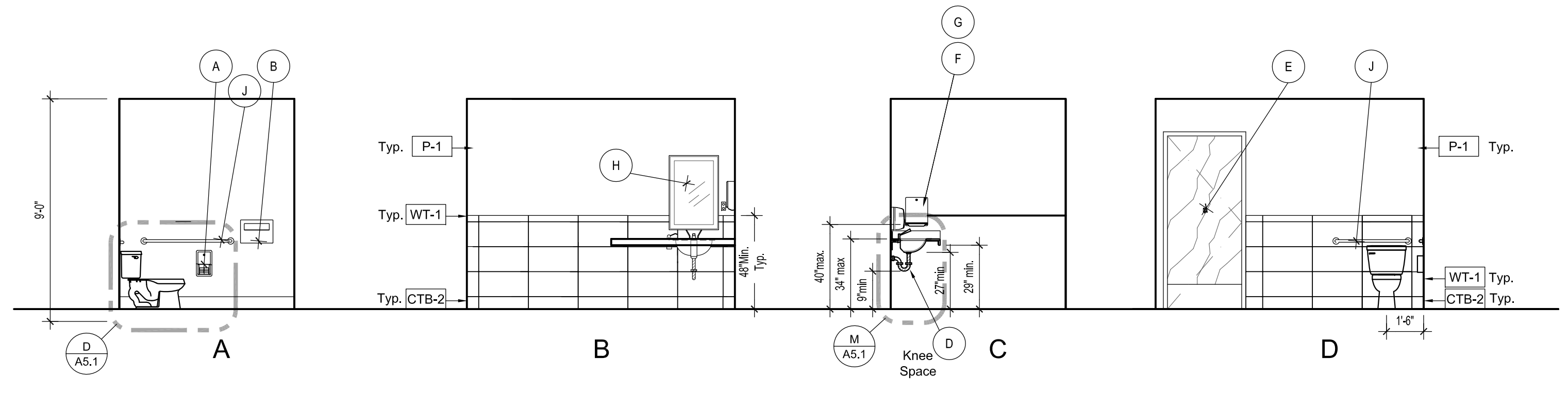
21020 Victory Blvd.,
Woodland Hills, CA 91367
T: 818-883-8702
catherine@cmarchitect.biz



Cafe Bizou

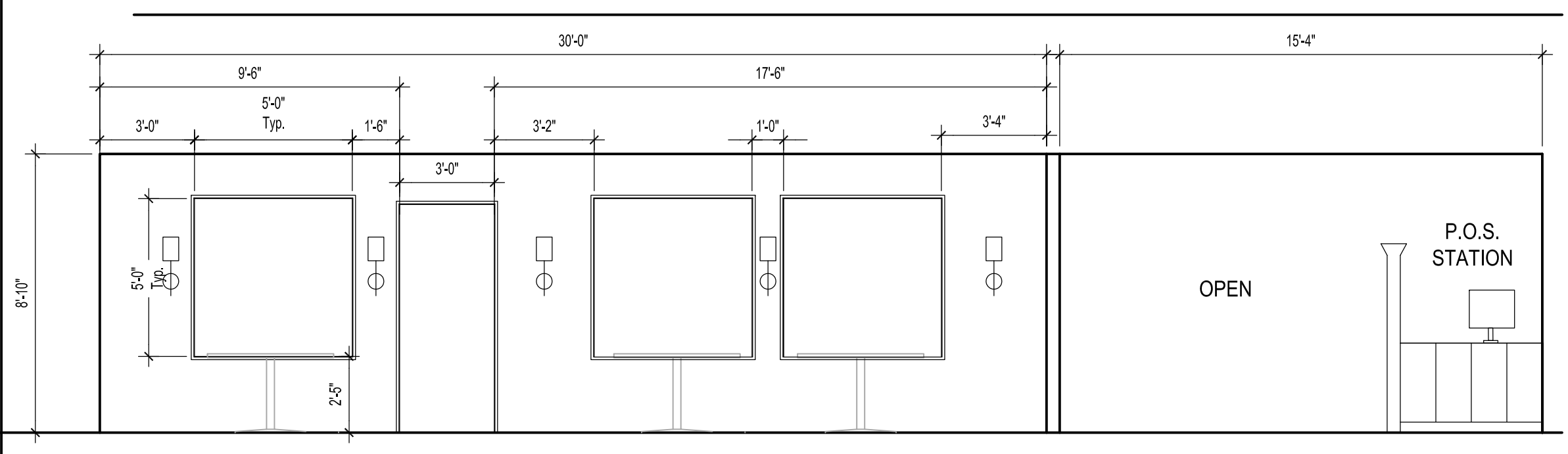
30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Issue	Date
Planning Dept. Submittal	7.12.16
Planning Dept. Corrections	9.21.16
Building Dept. Plan Check	11.08.16



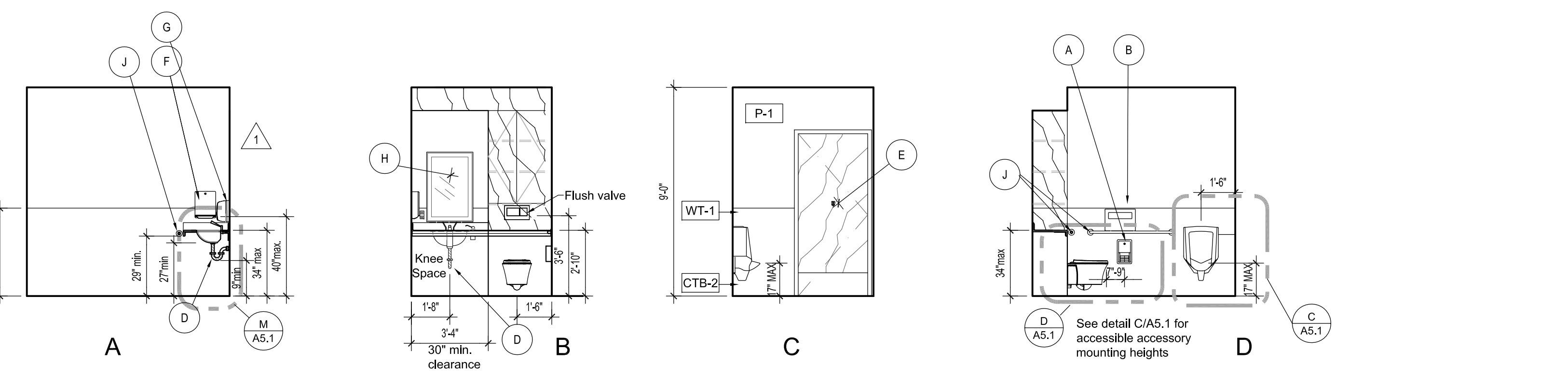
New Women's Restroom Elevations
Scale: 1/4"=1'-0"

E



Dining Room Elevation
Scale: 1/4"=1'-0"

G



New Men's Restroom Elevations
Scale: 1/4"=1'-0"

F

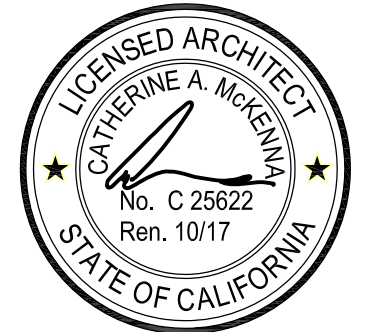
Cafe Bizou

A5.2

Rest Room Elevations and Notes

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Cafe Bizou

30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Issue	Date
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Building Dept. Plan Check	11.08.16

Cafe Bizou

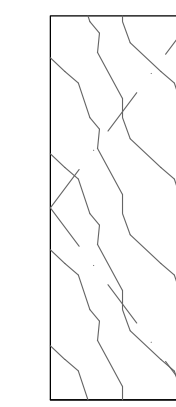
Door Schedule and Details

Copy Protection

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Door Schedule

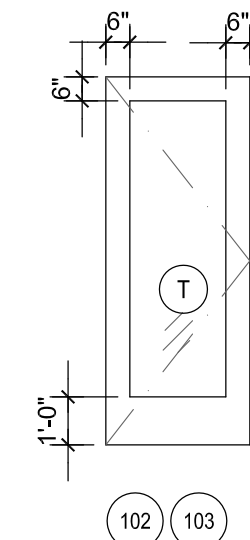
Locker Room



101

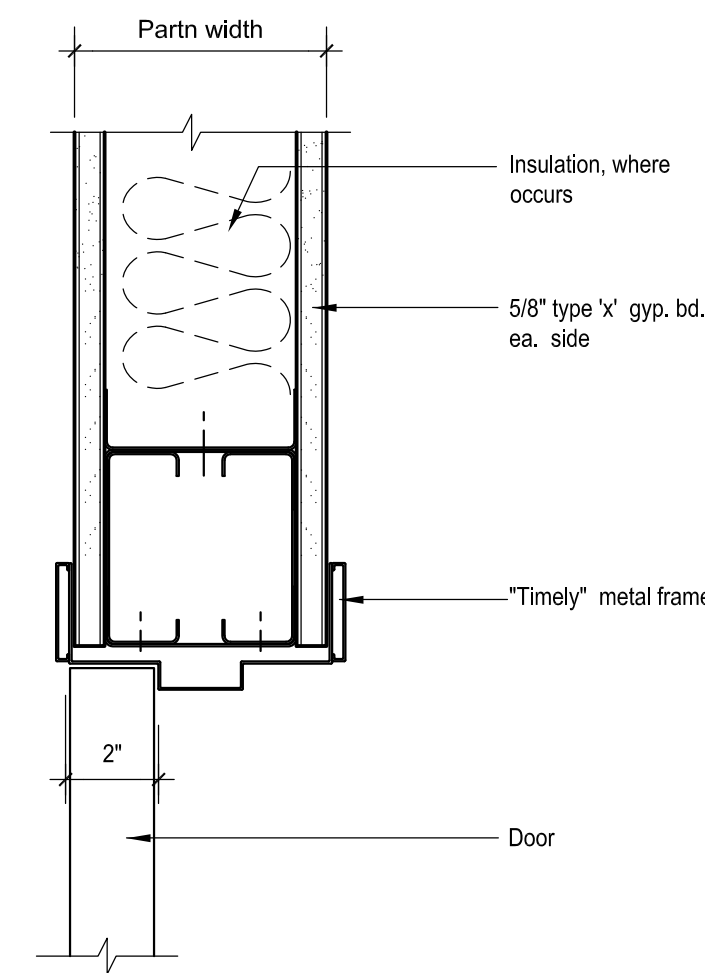
Type: Wood Solid Core Stain Grade
Finish: Paint to match existing doors.
Frame: Wood
Dim: 3'-0"W x 7'-2"H x 1-3/4"D
Hardware: Storage Lever Hardware
Finish to match existing doors.
Aluminum threshold

Rest Rooms



102 103

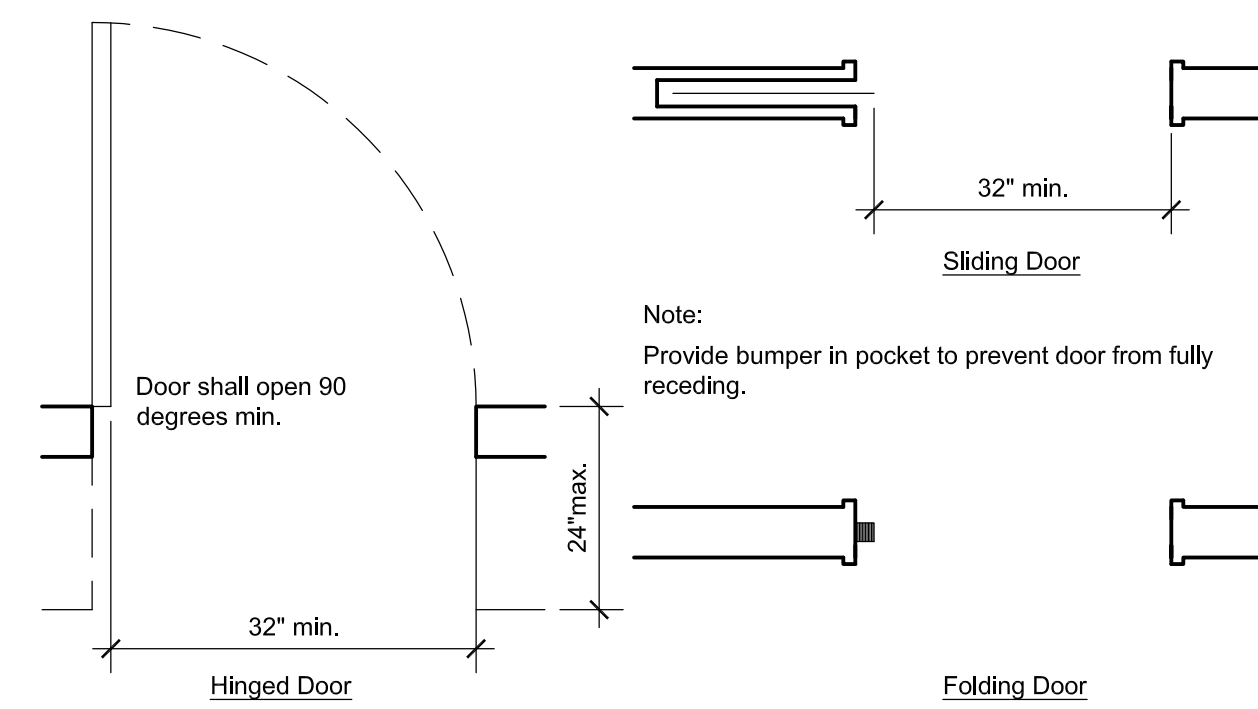
Type: TM Cobb
Solid core paint grade
1" Single glazing, tempered
Frosted lite
Finish: Paint to match existing doors.
Frame: Wood
Dim: 3'-0"W x 7'-2"H x 1-3/4"D
Hardware: 1 set of 3 hinges, plain bearing, P&B 41/2"x41/2" satin chromium
Lockset, Schlage AL40S, Privacy,
Self Closer LCN 404 satin chromium
Sound seal
Silencer
Wall stop 243 F Hangar Dome Stop-High
Finish to match existing doors.
Stainless steel kick plate both sides
Aluminum threshold



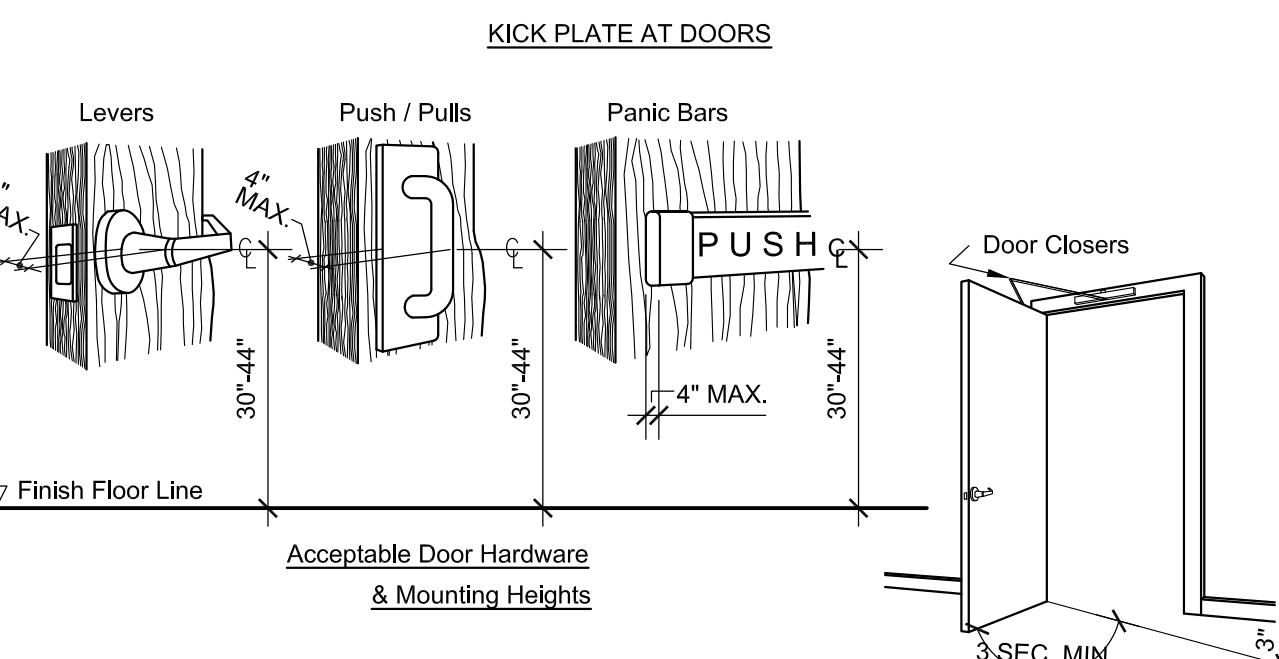
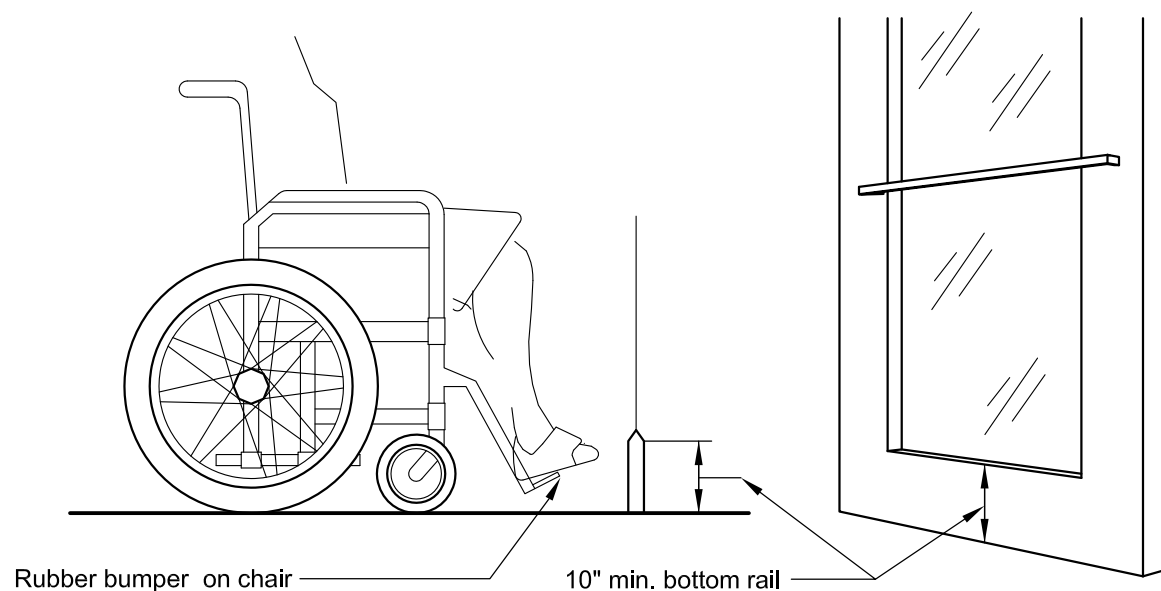
Timely Metal Door Frame-Section

3"=1'-0"

A



Minimum Clearances at Doors



Acceptable Door Hardware & Mounting Heights

Note: Latching and locking doors that are hand activated and which are in a path of travel shall be operable with a single effort by lever type hardware, panic bars, push-pull activating bars, or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction.

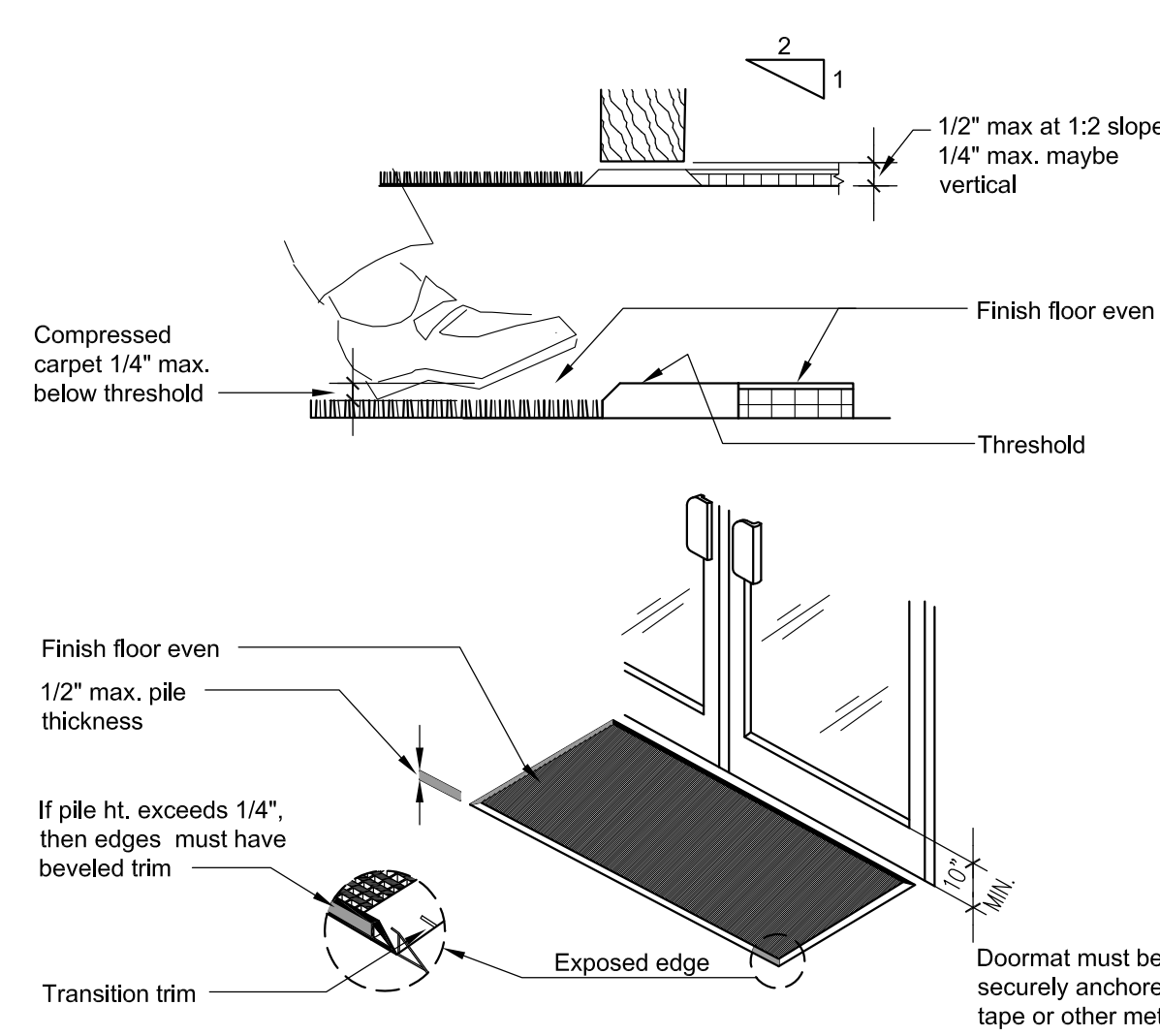
Note: Door closers, if present, must be set that it takes door at least 3 seconds to close from an open position of 70° to within 3" of the latch.

Note: Maximum effort to operate doors shall not exceed 5 pounds for exterior doors and 5 pounds for interior doors, such pull or push effort being applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized to meet the above standards. When fire doors are required, the maximum effort to operate the door may be increased to the maximum allowable by the appropriate administrative authority, not to exceed 15 pounds.

Thresholds At Doorways

Not to Scale

E



Doors

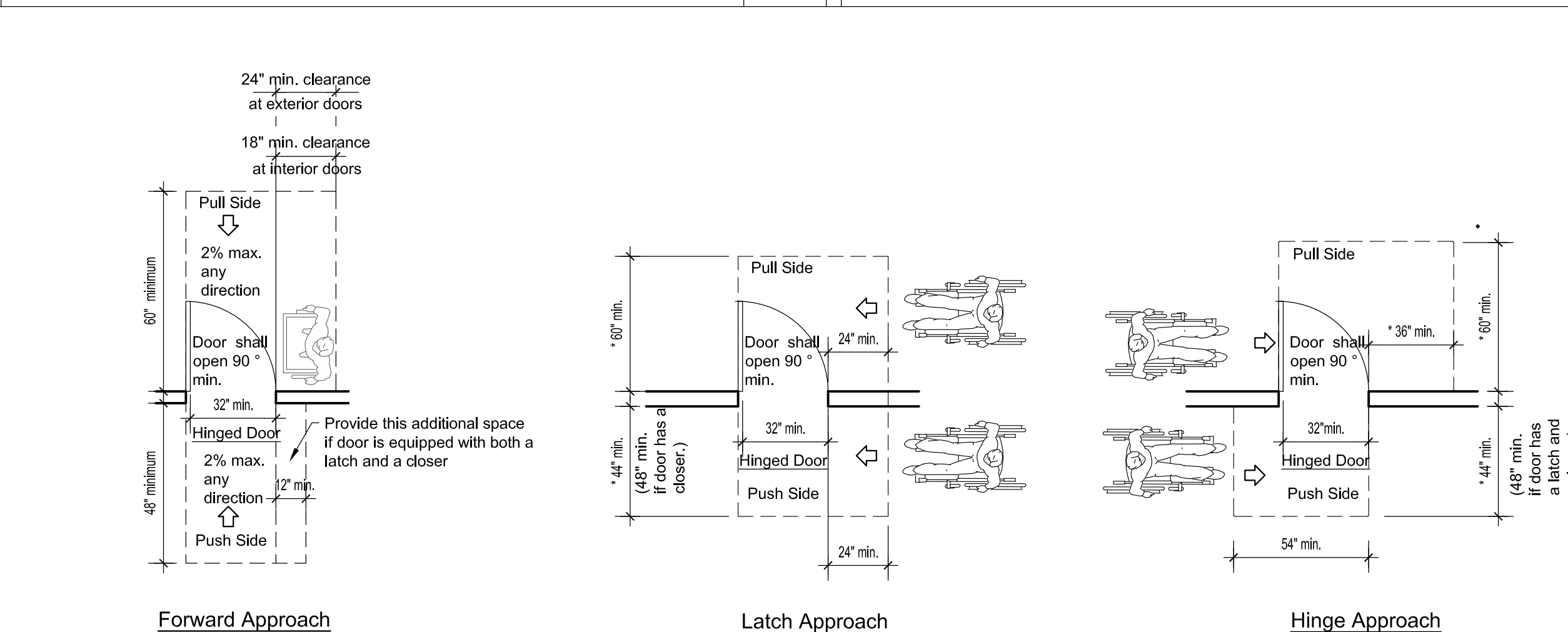
Not to Scale

F

Thresholds At Doorways

Not to Scale

E



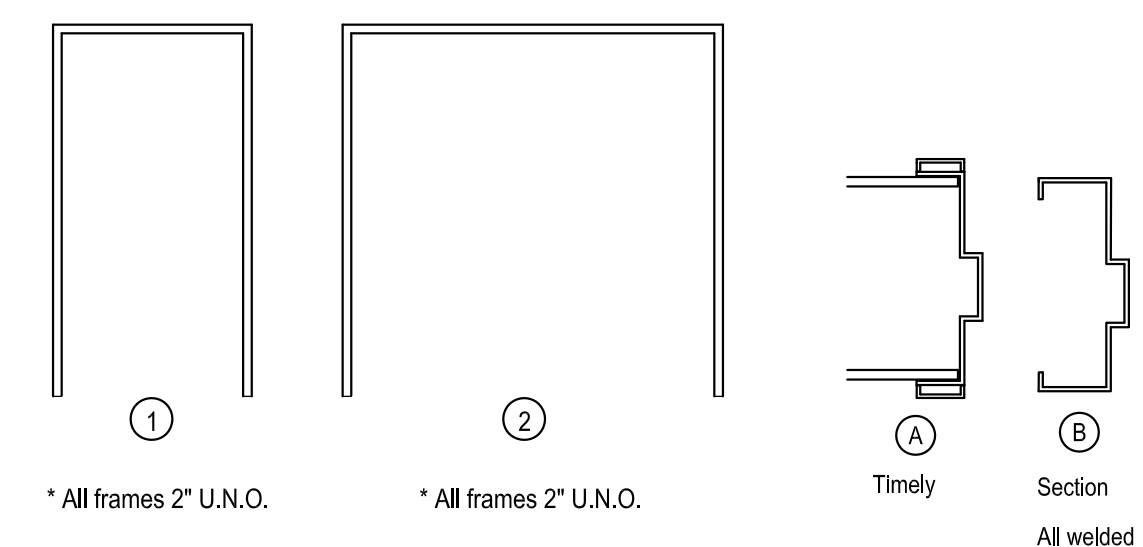
Minimum Level Maneuvering Clearances at Doors

Scale: 1/4"=1'-0"

K

L

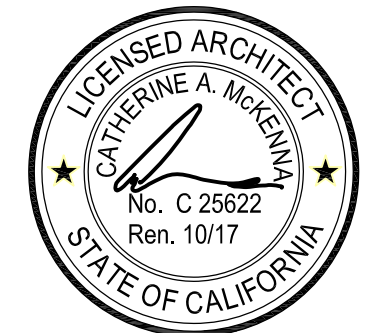
M



Passage & Lockset Door Hardware

- Width and height of required exit doorways shall comply with Title 24.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. Title 24.
- Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" on their greatest dimensions.
- Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb.
- Sliding glass doors and windows shall be equipped with locking devices.
- Provide doors to all accessible rooms with 32" clear opening width.
- Exit doors shall be not less than 36" in width and not less than 68" in height.
- All glazing in hazardous locations must be identified by a label (permanent if tempered) as safety glazing; glazing in all doors, glazing in bath and shower enclosures, all glazing within a 24" arc of a door edge, panels over 9 sq. ft. having the lowest edge less than 18" above the finish floor and having a top edge greater than 36" above the floor, and all glazing in guardrails.
- In B, F, M, and S occupancies, panes of glazing with at least one dimension greater than 5" but less than 48", shall be constructed of tempered or approved burglary-resistant material or protected with metal bars or grilles (6714)
- Provide dead bolts with hardened inserts; deadlocking latch with key operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)

A7.1



Cafe Bizou

30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Issue	Date
Planning Dept.	7.12.16
Submittal	
Planning Dept.	9.21.16
Corrections	
Building Dept. Plan Check	11.08.16

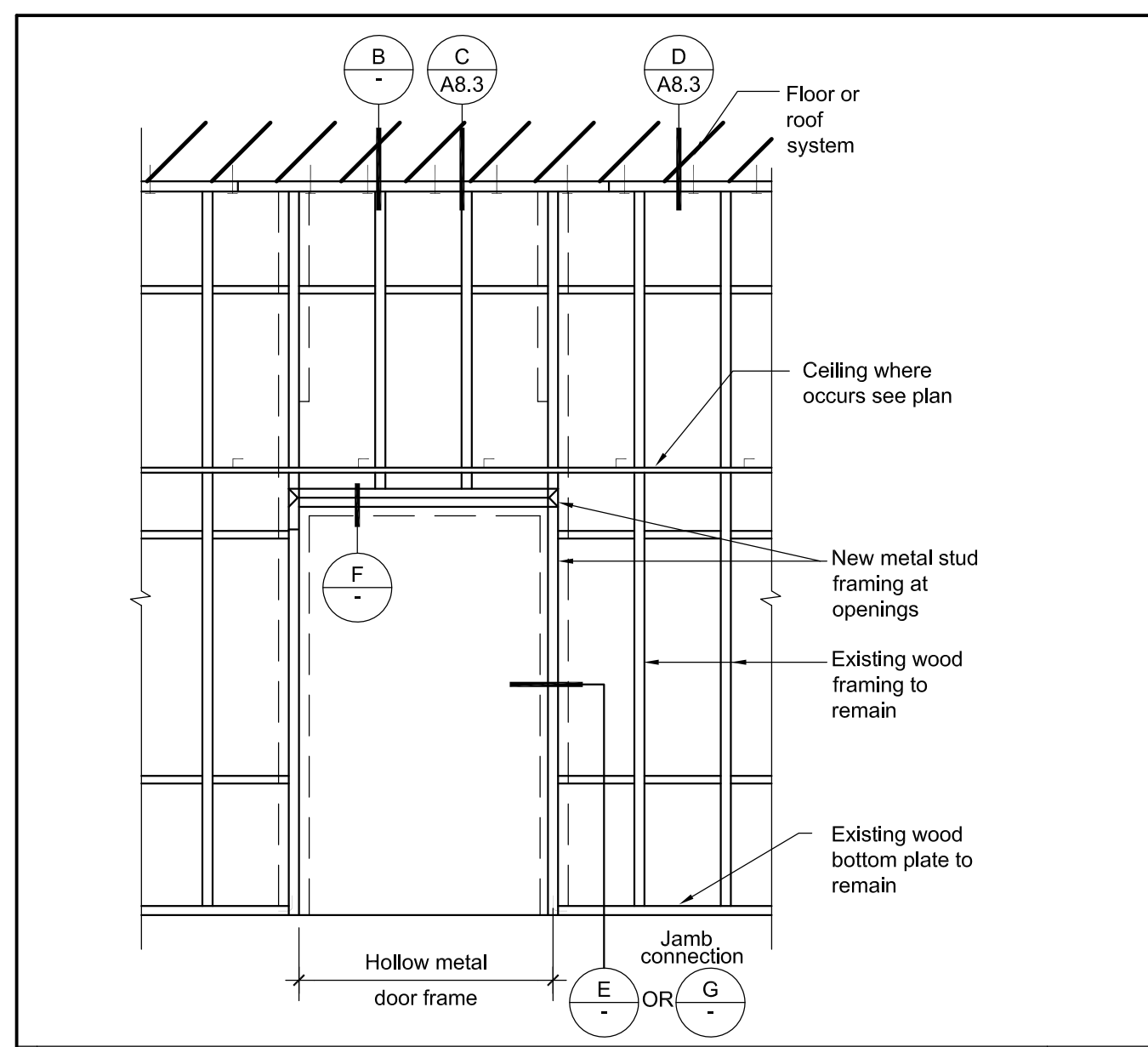
Cafe Bizou

A8.1

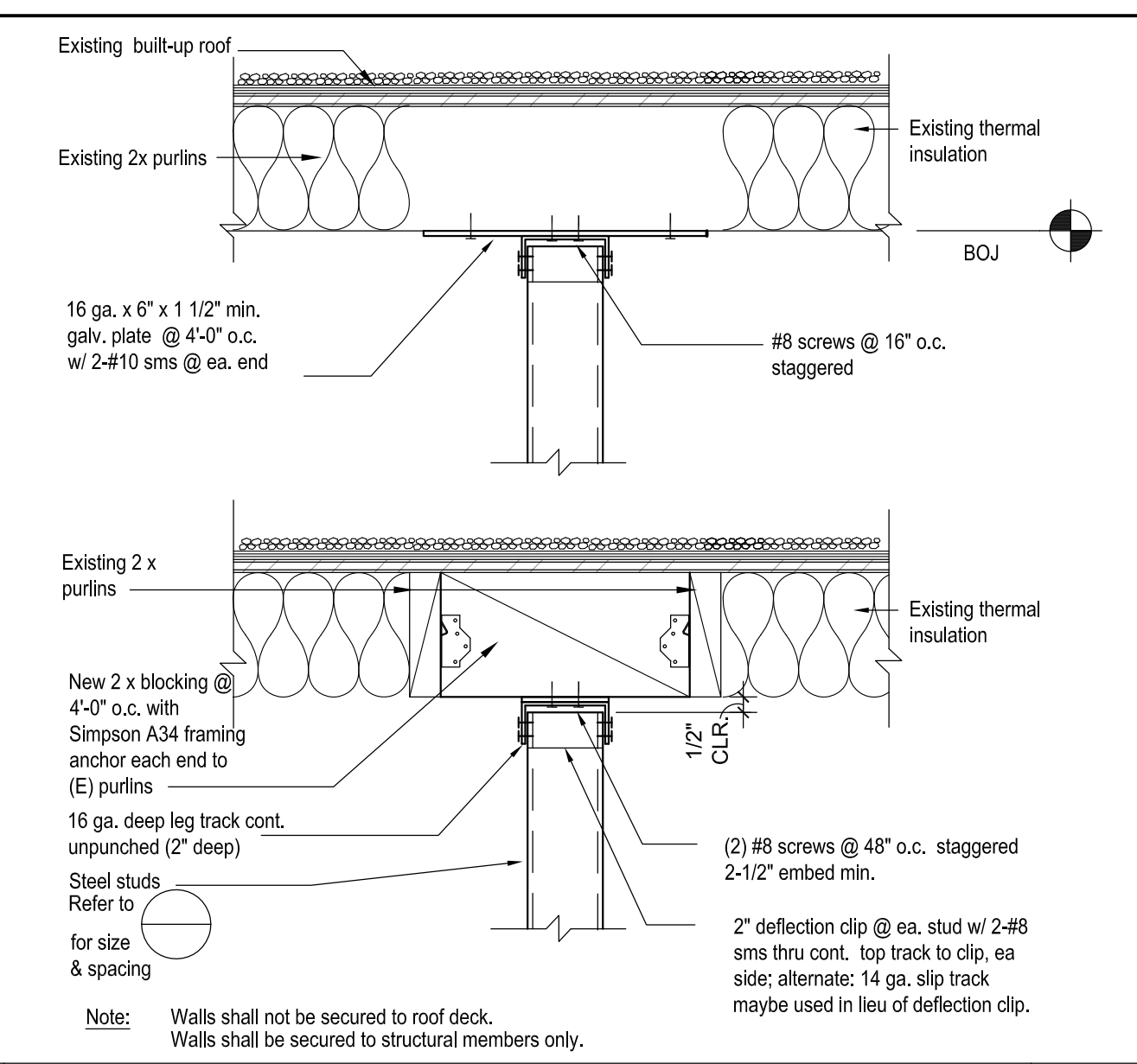
Details

Copy Protection

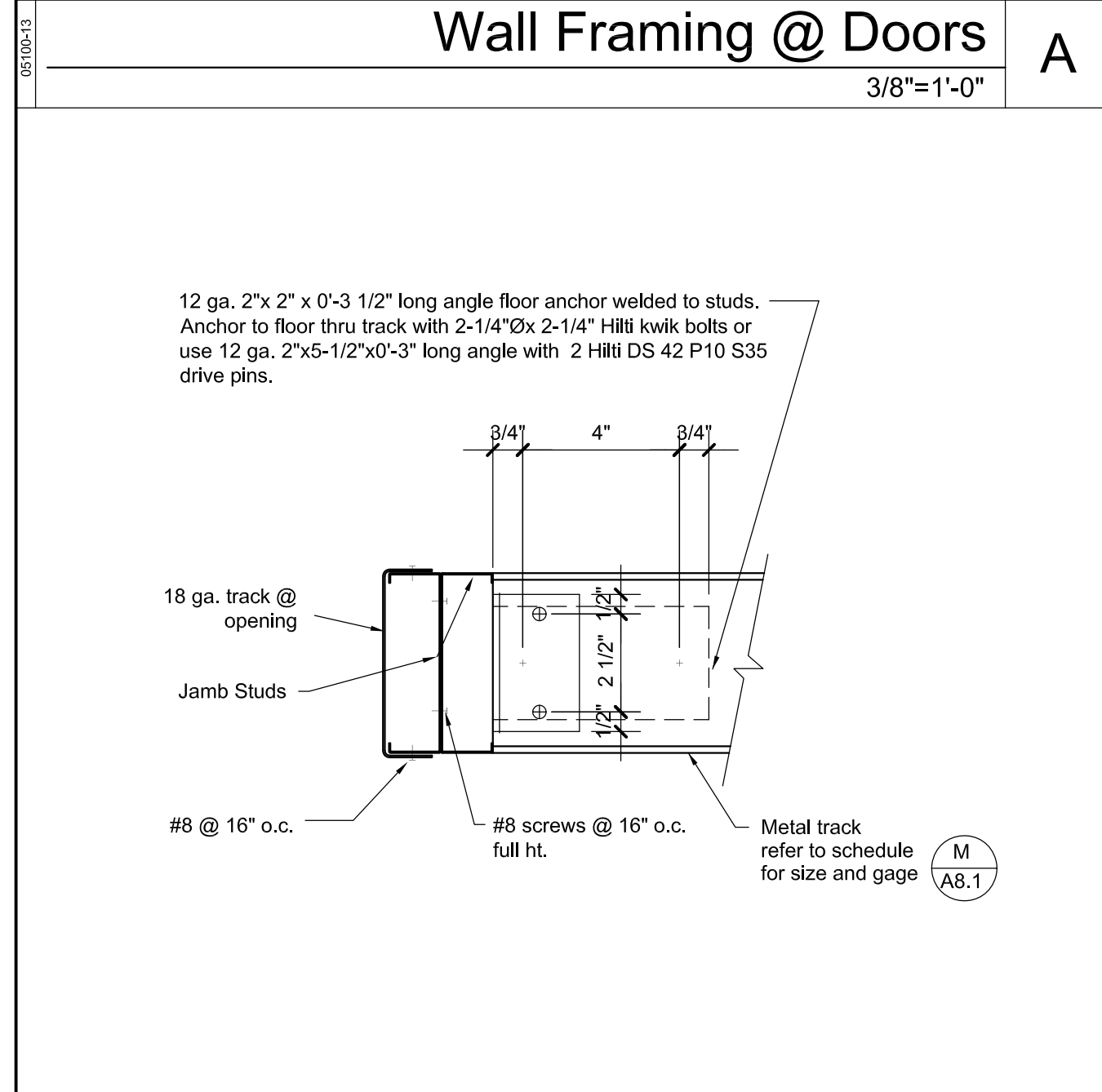
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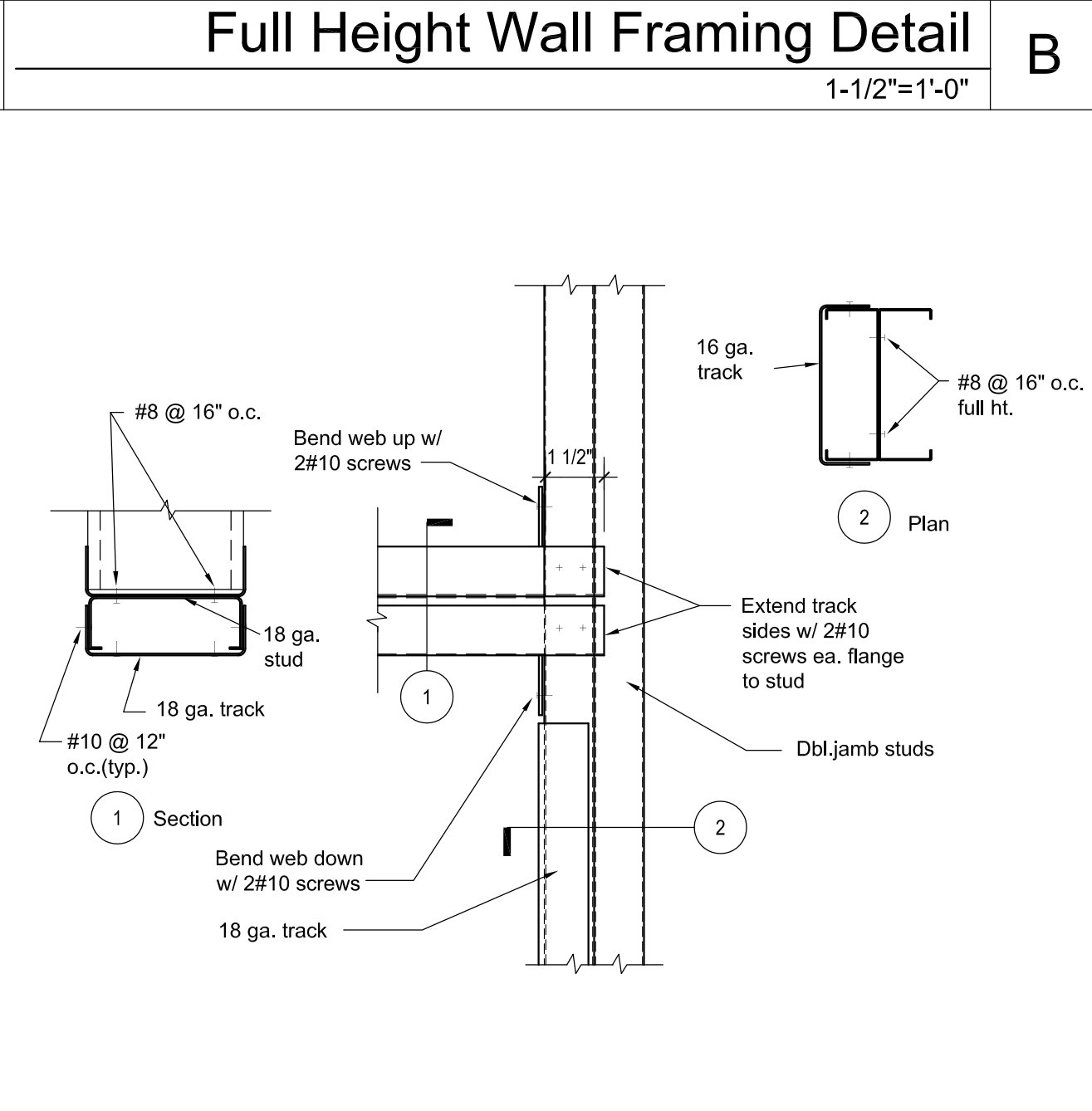
Wall Framing @ Doors
3/8"=1'-0"



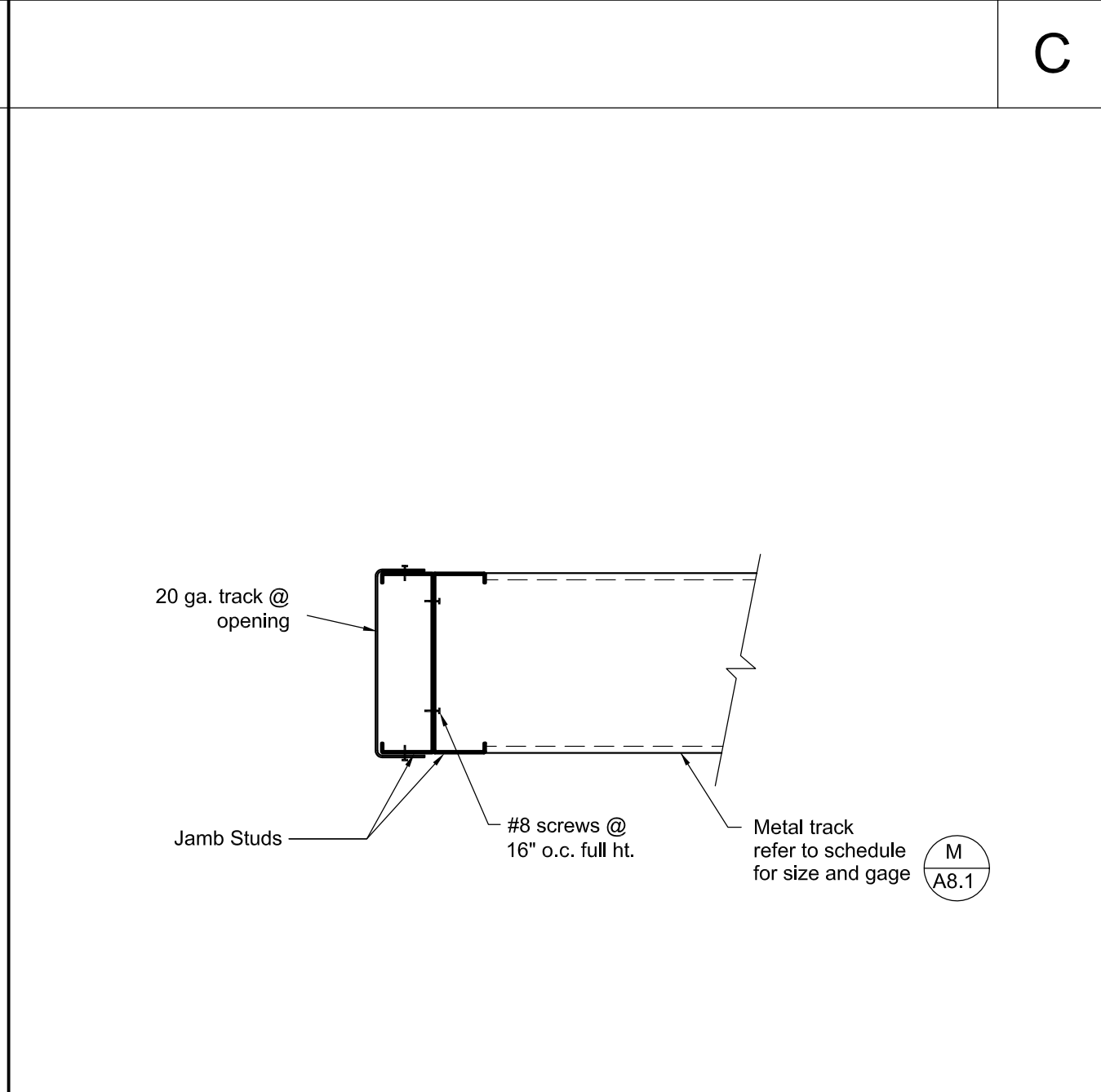
Full Height Wall Framing Detail
1-1/2"=1'-0"



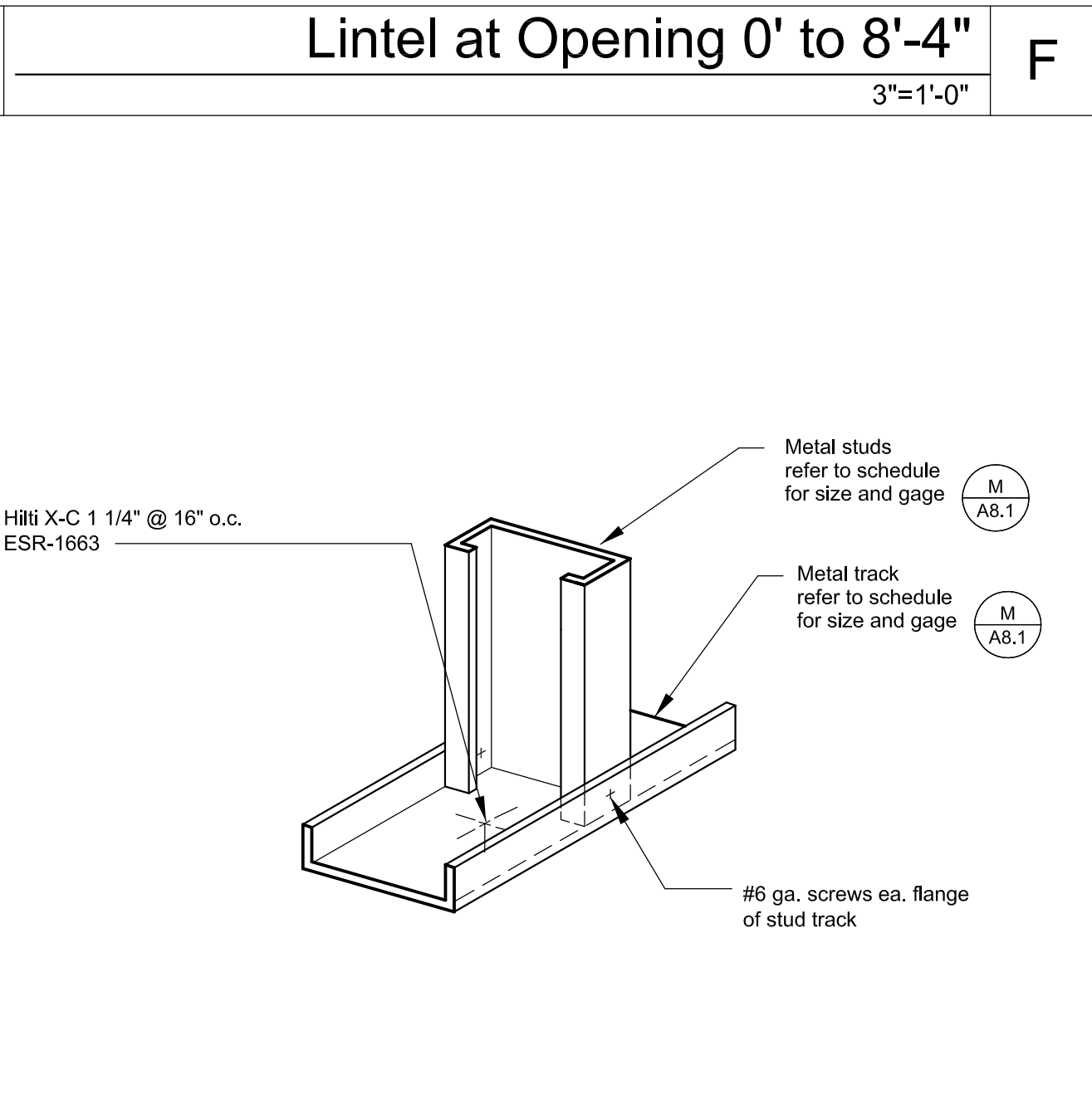
Door Jamb Detail - Section
Scale: 3"=1'-0"



Lintel at Opening 0' to 8'-4"
3"=1'-0"



Door Jamb Detail - Section
Scale: 3"=1'-0"



Typ. Stud/ Track Attachment
Not to scale

Connection / Screw Types

Connection Type	Screw Type
	(Self-drilling, self-tapping, Fy 33 ksi)
Steel to steel	Pan head Hex washer head
Steel to steel with drywall cover	Low profile head
Plywood to steel	Pilot point bugle head All thread bugle head
Drywall to steel	7/16 dia. bugle head all thread
Lath to steel	1/2 dia. flat wafer head 7/16 dia. pan washer head
Steel to heavy structural steel	+ 12-24x1-1/4 TEK S/5

Note: All door jambs shall be minimum 20 ga. material.

Metal Stud Notes

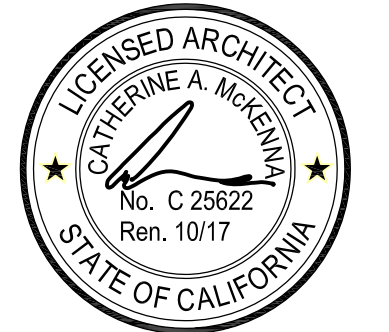
- A. Metal studs have been chosen based on "Steel Stud Manufacturer's Association" (MSMA) (see also I.C.C. ESR-3064P) . Alternate manufacturers may be substituted providing that all material properties satisfy those specified, that an I.C.C. report on the substitution is available, and that change order approval is received from the Architect.
- B. Galvanized metal stud framing shall be the following:
 - Interior walls with gyp board or plaster one side only use studs as follows:
Studs: 362S162-33 at 16" o.c. Max. Flr. to Flr. Height (L/240) 16'-11"
 - Interior walls with gyp board or plaster each side use studs as follows:
Studs: 362S162-33 at 16" o.c. Max. Flr. to Flr. Height 16'-11"
 - Exterior walls with gyp board or plaster each side use studs as follows:
Studs: 362S162-33 at 16" o.c. Max. Flr. to Flr. Height 16'-11"
- C. Any stud flange that does not receive gyp board, plywood, or plaster finish shall be braced using SSMA 1-1/2 cr channels cont. @ 4'-0" o.c. maximum spaced vertically.
- D. Top and bottom tracks for all interior stud walls (except slotted tracks) shall be SSMA 20 ga. track u.n.o.
- E. Top and bottom tracks for all exterior stud walls (except slotted tracks) shall be SSMA track same gage as studs, 18 gauge minimum.
- F. Where cabinets are to be anchored to studs walls, follow typical details for studs and backing plates.
- G. Slotted tracks, slip tracks, slip clip or deflection clip at top of wall shall be 16 ga. with a minimum flange width of 1 1/4". They shall be installed to allow for 1/2" of vertical movement between top track and stud.
- H. Metal studs, tracks channels, and accessories shall be galvanized conforming to a.s.t.m. a 525 g-60.
- I. Stud and track properties shall be as follows:

METAL STUD FASTENER SCHEDULE					
MARK	FASTENERS SIZE AND SPACING				
1	HILTI X-CR POWER DRIVEN FASTENER @32"O.C.				
2	#10 SHEET METAL SCREW				
3	#10 SHEET METAL SCREW				
4	#12 SHEET METAL SCREW				

METAL STUD SCHEDULE					
MILS	GAUGE	DEPTH			
		3"	4"	6"	8"
HEIGHT "H"					
68	14	27'-0"	29'-3"		
54	16	25'-3"	27'-4"		
43	18	23'-8"	25'-6"		
33	20	21'-6"	23'-3"	30'-0"	30'-0"

Designation	Use	A.S.T.M.-Grade	Sx.in. ³	Ix.in. ⁴
362S162-33	Stud	A-446,grade a	0.292	0.551
362S162-33	Brace	A-446,grade a	0.292	0.551
362T150-33	Track	A-446,grade a	0.180	0.414
362T150-54	Slip-track	A-446,grade d	-	-
600S162-33	Stud/joist	A-446,grade c	0.577	1.793
600T150-54	Slip-track	A-446,grade d	-	-
600T150-43	Track	A-446,grade a	0.534	1.868
800S162-43	Stud	A-446,grade a	1.158	4.633
800T150-43	Track	A-446,grade a	0.741	3.825

Metal Stud Size Schedule & Connections M



Cafe Bizou

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Cafe Bizou

A8.2

Details

Copy Protection

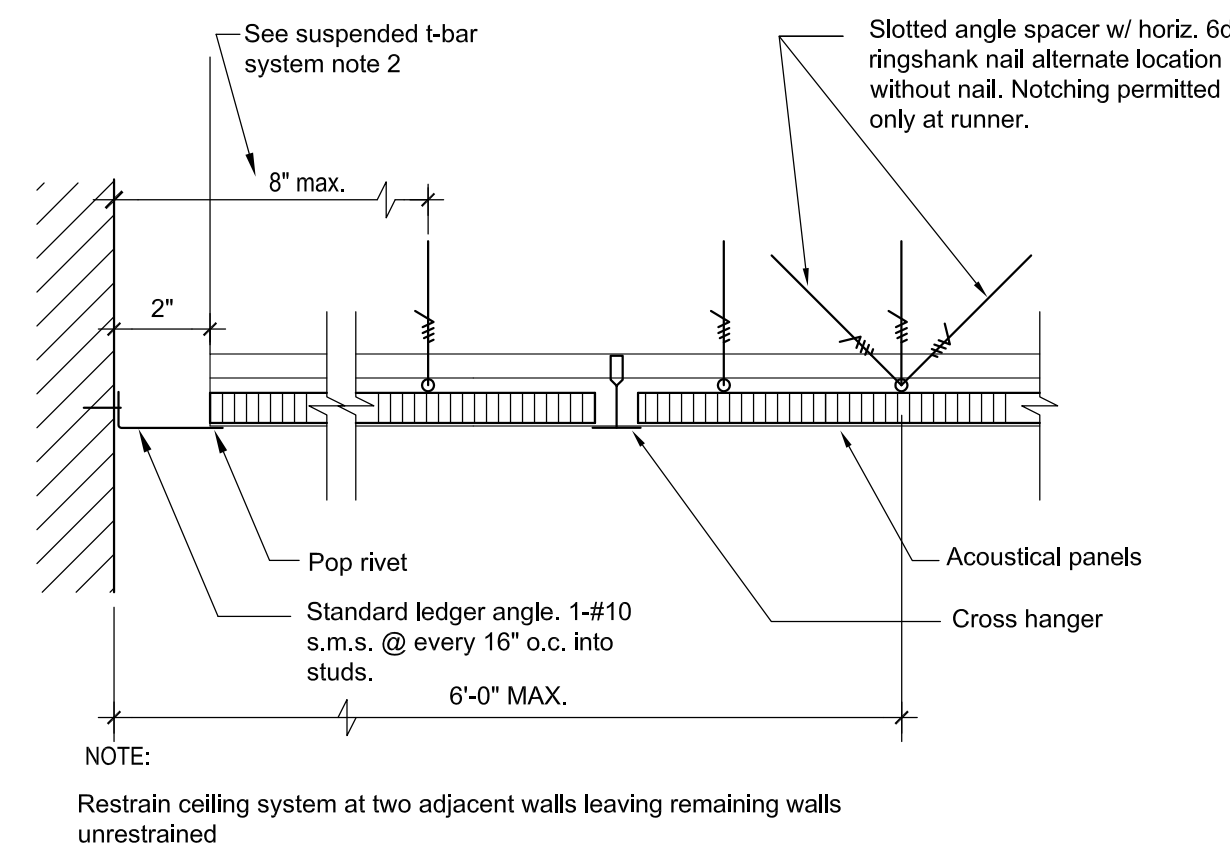
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Suspended Ceiling Notes

Suspended ceilings shall comply with Section 808.1 and ASCE Section 13.5.6, ASCE 7-05

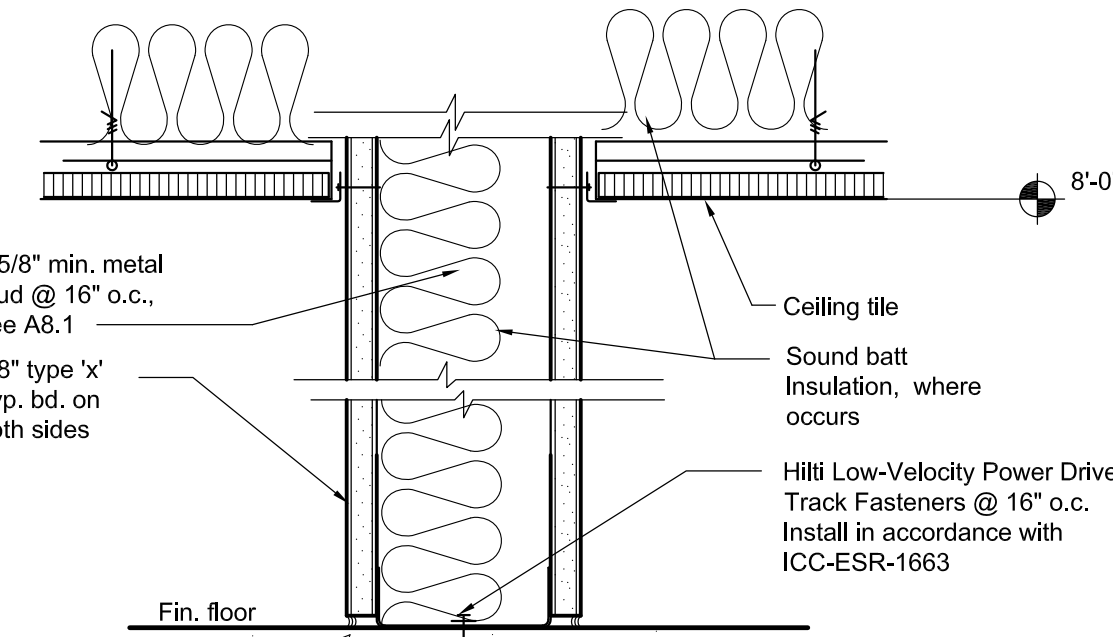
Installation Standard for Seismic Forces (Sec.13.5.6 ASCE 7)

- 1) Suspended ceiling and lighting systems shall be limited to 6 ft. below the structural deck unless lateral bracing is designed by a licensed engineer or architect.
- 2) A heavy duty T-bar grid system shall be used.
- 3) The width of the perimeter supporting closure angle shall be not less than 2 in. One end of the ceiling grid shall be attached to the closure angle; the other end in each horizontal direction shall have a 3/4 in. clearance from the wall and shall rest upon and be free to slide on a closure angle.
- 4) Ceiling exceeding 1000 s.f. shall have horizontal restraints.
- 5) Ceiling areas exceeding 2500 s.f. a seismic separation joint or full height partition that breaks the ceiling into areas not exceeding 2500 s.f. shall be provided.
- 6) Sprinkler heads shall be supported independently and shall a 2 in. oversize ring.
- 7) Cable trays and electrical conduits shall be supported in dependency of the ceiling.



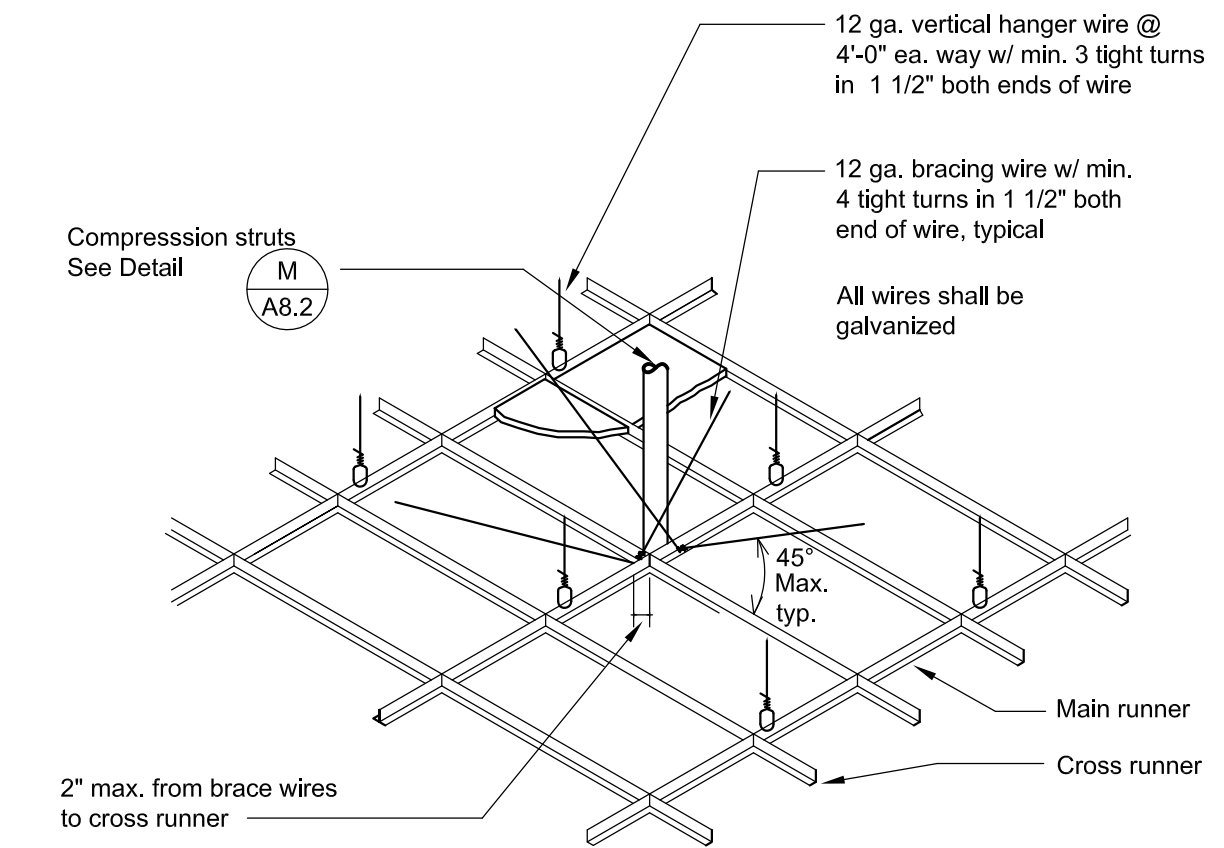
Suspended Ceiling Detail

Scale: 3"=1'-0"



Partition Detail - Section

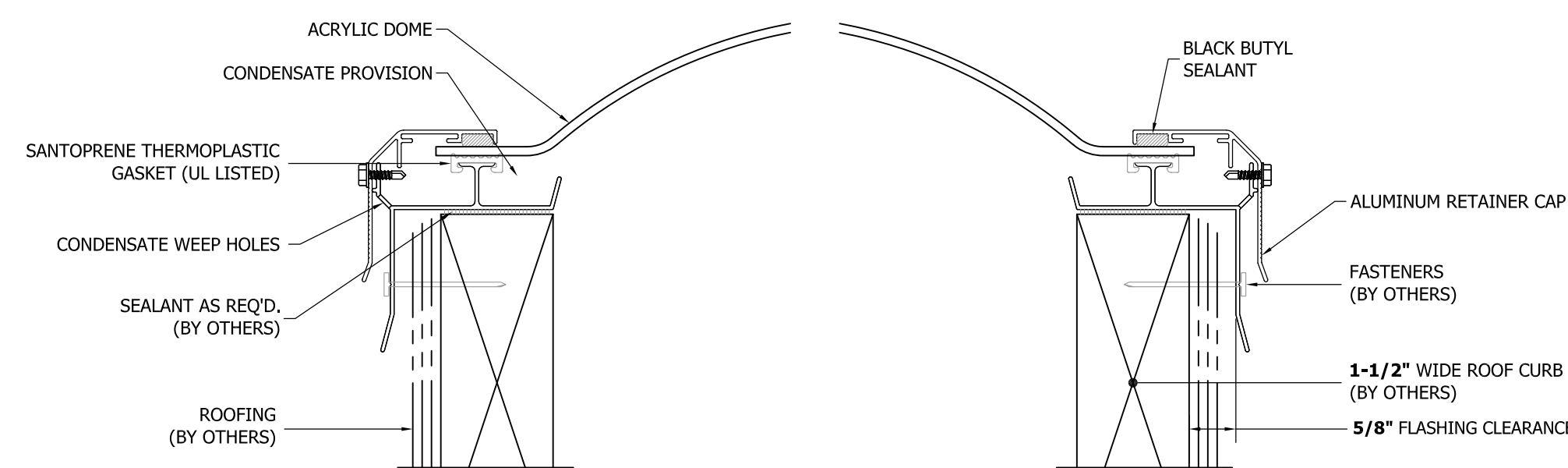
Scale: 3"=1'-0"



Suspended T-bar Ceiling

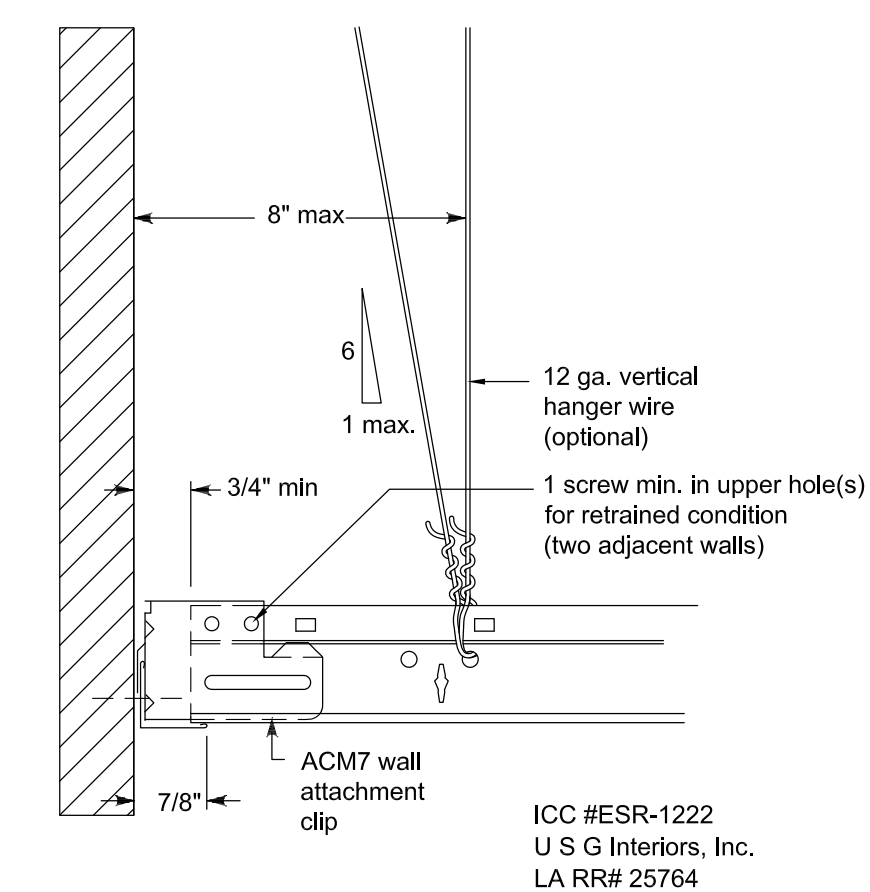
1-1/2"=1'-0"

BRISTOL ACRYLIC ALUMINUM CURB MOUNTED SKYLIGHT



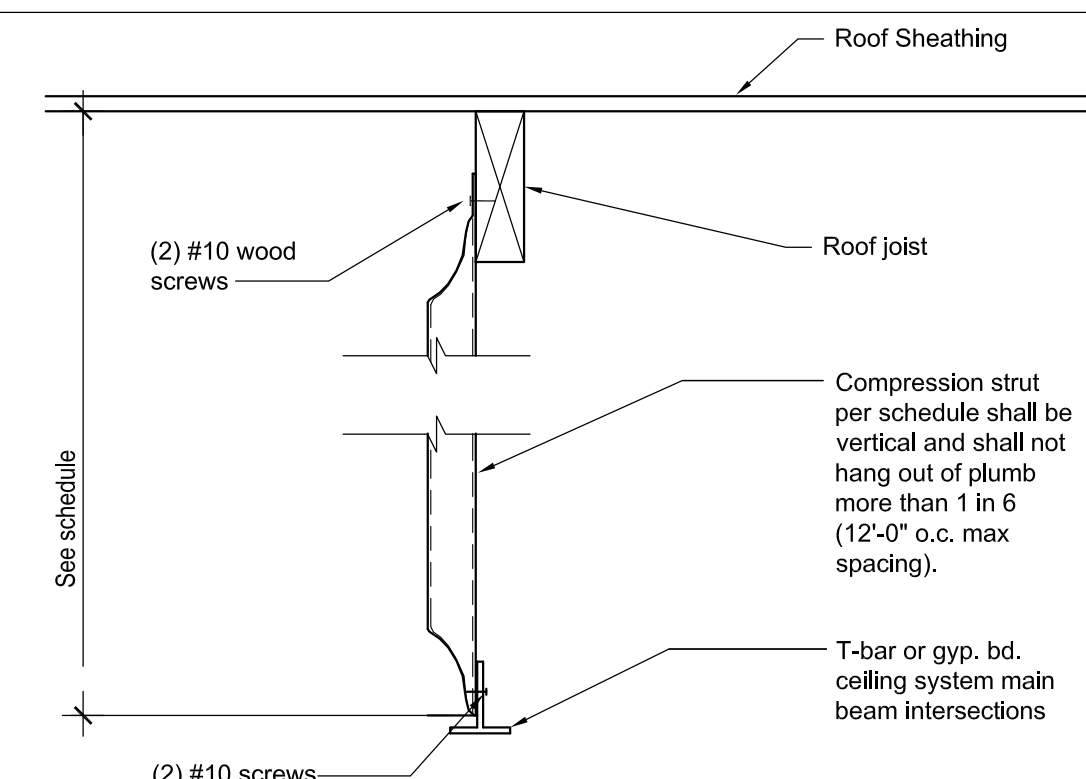
New Skylight

Scale: 6" = 1'-0"



Suspended Ceiling Detail

NTS



Note:
Compression strut shall not replace hanger wire.

Compression Strut Schedule

ELECTRICAL METALLIC TUBING	
1/2"	To 2' 8"
3/4"	To 4' 4"
1"	To 6' 7"

Compression Strut Detail

Scale: 3"=1'-0"

EXISTING EQUIPMENT SCHEDULE (No Change)

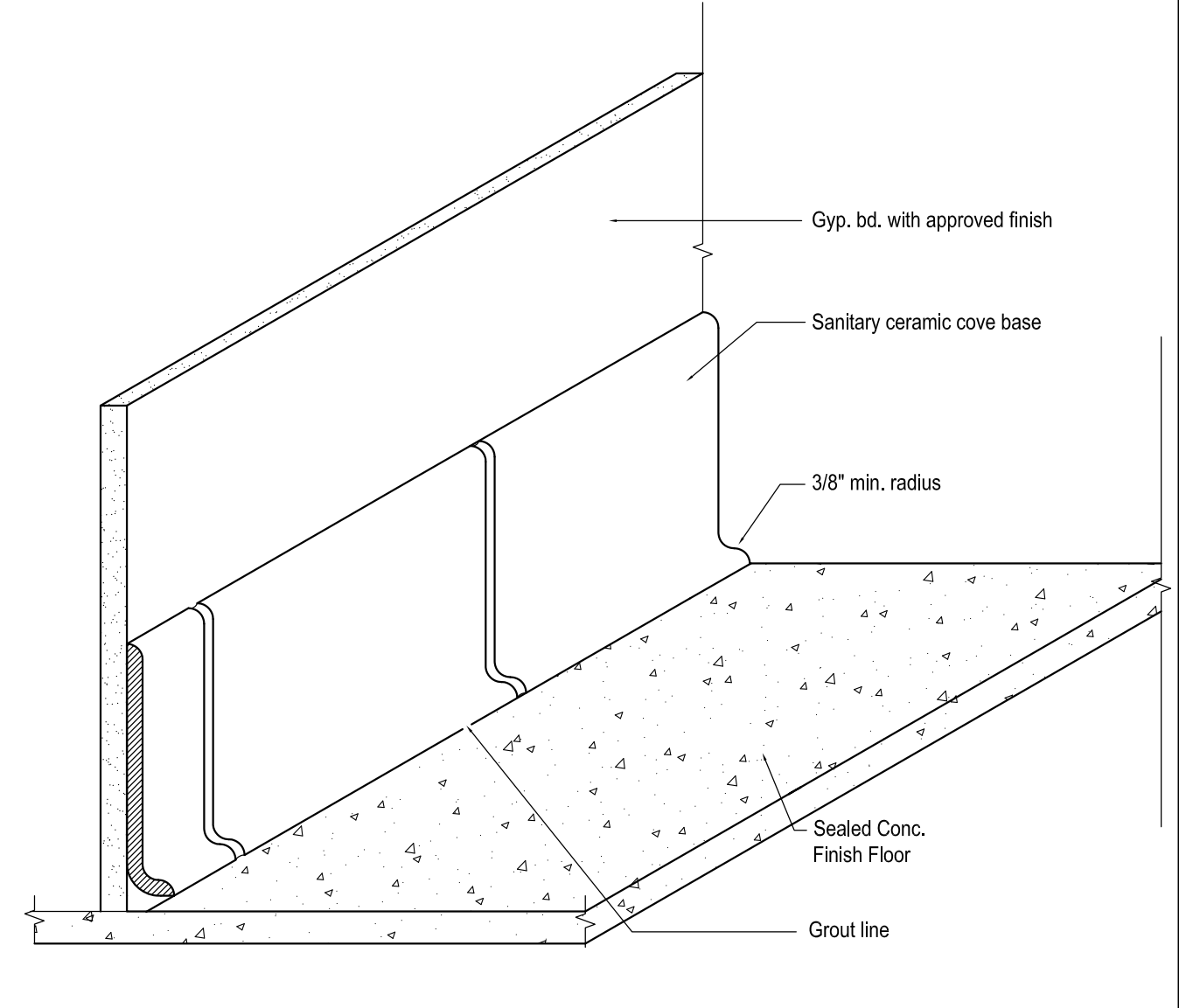
Equipment Existing or New	Item Number	Room Location	Equipment/Description	Manufacturer / Model #	Height (ft. in.)	Quantity	Size L x W x H	NSF	Power Requirements										H2O	Gases	Air	Installation	NOTES
									12V	110V	220V	230V	240V	208V	480V	LAN	Data	Gas					
Existing	01	Kitchen	Sink / Stainless Steel Handwashing Sink	L&J Import			16.5' x 16"	X													Stainless Steel Left Side Spash		
Existing	02	Kitchen	3 Compartment Sink / Stainless Steel Commercial Sink	Regency / 106"			18"x24"x14"-Bowl 106"x29"x44"-Overall	X													Stainless Steel Left and Right Drain Boards and 3 basin center		
Existing	03	Kitchen	Refrigerator/ 2Door Undercounter	Everest / ETWR2			59"x32"x29"	X	Existing No Change												Stainless Steel - Inside		
Existing	04	Kitchen	Microwave	Panasonic / R-21LCF			13"x8"x15" 1.0 CU. FT.	X	Existing No Change												Stainless Steel 1000 watt		
Existing	05	Kitchen	Table / Prep Counter with Sink	Unknown			60" x 24" 34"H	X													Stainless Steel		
Existing	06	Kitchen	Hot Plate 2 Burner	CHP-212-A			15"x27"x10"	X										X			Stainless Steel Existing Exhaust and Fire Suppression System no change		
Existing	07	Kitchen	Ventilator/ Hood - Exhaust	Unknown - Custom			4' x 15'	X	Existing No Change												Stainless Steel		
Existing	08	Kitchen	Deep Fryer	Cecilware - FMS403-HP			400MM x7M 65MM x1145MM	X										X			Stainless Steel		
Existing	09	Kitchen	Hot Plate 2 Burner	CHP-212-A			15"x27"x10"	X										X			Stainless Steel		
New	10	Kitchen	Broiler- Gas 36" Broiler	Imperial - ICMA-36			36"x18"x18"	X										X			Stainless Steel		
New	11	Kitchen	Hot Plate - 6 Burner - Table Top	Imperial - IHAPA-6-36			36"x31-3/8"x 10"	X										X			To be placed on top number: Stainless Steel, 32,000 btu		
New	12	Kitchen	Chef Base - 4 Drawer Refrigerator	True - TRCB-72			73"x32"x21"	X	X	X								X			To be placed on top number: Stainless Steel, 32,000 btu		
New	13	Kitchen	Hot Plate - Radiant Broiler Burner	Imperial - IRB36			36"x31-3/8"x 10"	X										X			Stainless Steel		
Existing	14	Kitchen	Gas Range and Oven	Jade - JTRH-6-36			36"x38"x36"	X										X			Stainless Steel		
New	15	Kitchen	Oven	Blodgett - CTB/CTBR			25" X 30" X 25"	X	X	X											supply: 60hz 21amp phase 3 Motor: 1/4hp 2speed		
Existing	16	Kitchen	Microwave	Panasonic / R-21LCF			13"x8"x15" 1.0 CU. FT.	X	Existing No Change												Stainless Steel 1000 watt		
Existing	17	Kitchen	Walk In Refrigerator	Custom - Built In			7' X 7'-6"	X	Existing No Change												Stainless Steel		
Existing	18	Kitchen	Ice Maker	Hoshizaki			22" X 28" X 25"	X	Existing No Change												Stainless Steel - Inside		
Existing	19	Kitchen	Food Warmer	Wells				X	Existing No Change												Stainless Steel - Inside		
Existing	21	Kitchen	Refrigerator/ 3Door Undercounter	Everest / ETR3			72"x32"x34"	X	Existing No Change												Stainless Steel - Inside		
Existing	22	Kitchen	Stainless Steel shelves	Generic			96"x18"	X	Existing No Change												Stainless Steel side by side door		
Existing	23	Kitchen	Stand Up Freezer	Traulsen - G22010			52"x27"x64"	X	Existing No Change												Stainless Steel side by side door		
Existing	24	Kitchen	Stainless Steel shelves	Generic				X	Existing No Change												Stainless Steel		
Existing	25	Kitchen	Stainless Steel shelves	Generic				X	Existing No Change												Stainless Steel		
Existing	26	Kitchen	Stainless Steel shelves	Generic				X	Existing No Change												Stainless Steel		
Existing	27	Kitchen	Dishwasher	CMA / EVA 2000				X	Existing No Change												Stainless Steel		
Existing	28	Kitchen	Sink / Stainless Steel Handwashing Sink	L&J Import			16.5' x 16"	X													Stainless Steel		
Existing	29	Kitchen																					

Finish Schedule

- ACT Acoustic Ceiling Tile (Washable)
- P1 Paint
- GB Gypsum board
- STS Stainless Steel
- FRP Fiberglass Reinforced Plastic Panels
- Conc Concrete, sealed

CALL OUT ORDER:

- Ceiling Material
- Wall Finish
- Base Material
- Floor Finish

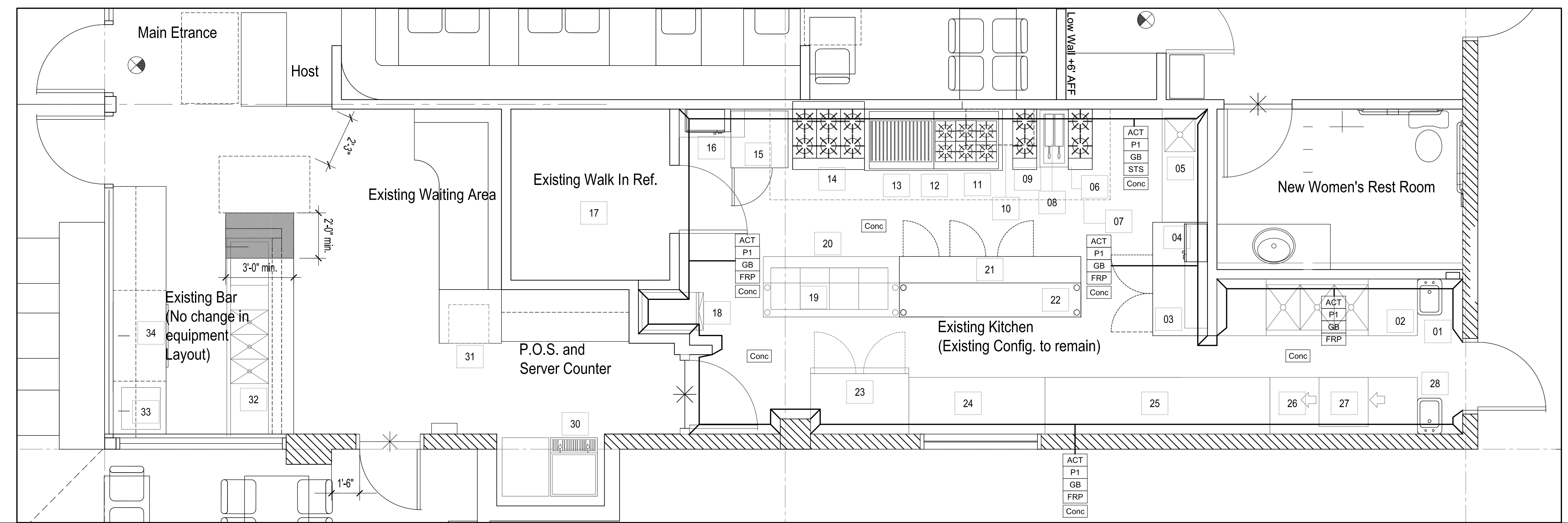


Health Department Notes

- All equipment is to be constructed and installed per the requirements of the county's Board of Health (Division of Environmental Health). Acceptance of the plans by the county's Board of Health is subject to final inspection by said agency.
- Employee lockers to be installed with round metal legs or wall mounted at a minimum 6" off finished floor.
- All areas of the food facility shall be provided with a minimum of 20 foot-candles of light, measured 36" off the floor during general clean up activities.
- Lighting in all of the food preparation, manufacturing, packaging and processing areas, and where utensils are cleaned shall have a minimum of 20 foot-candles of light measured 30" off floor.
- All equipment is to be NSF approved and installed to NSF standard.
- All refrigeration to meet NSF standard.
- All F.R.P. used on this project to be full height of walls.
- Hot and cold water is provided in all sink fixtures. Minimum hot water 120°F.
- All counters shall be on 6" legs with minimum 3/8" cove base tile at the kick side of the counter.
- All walls and ceilings shall be smooth, nonabsorbent, and washable. Minimum 4" high coved base with minimum 3/8" radius shall be provided at the junction of the wall and floor.

Typ. Cove Base on Conc. Floor Detail
3"=1'-0"

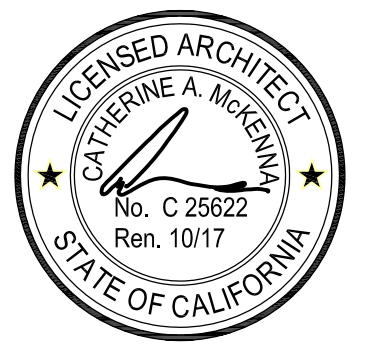
Proposed Floor Plan
Scale : 1/4" = 1'-0"



Proposed Equipment Floor Plan
Scale : 1/4" = 1'-0"

Catherine McKenna
Architect, Inc.

21020 Victory Blvd.,
Woodland Hills, CA 91367
T: 818-883-8702
catherine@cmarchitect.biz



Cafe Bizou

30315 Canwood St., #14
Agoura Hills,
CA 91301-4319

Issue	Date
Planning Dept. Submittal	7.12.16
Planning Dept. Corrections	9.21.16
Building Dept. Plan Check	11.08.16

Cafe Bizou

EQ-1

Proposed Floor Plan

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